

**STAFF REPORT TO: AMADOR COUNTY PLANNING COMMISSION**  
**FOR MEETING OF: JULY 14, 2015**

**Item 1 - Public Hearing – UP-15;5-1.** Request from Wilderotter Family Trust (Jay Wilderotter), for a Use Permit to allow the construction of a 6,360 square-foot dwelling to be used as a bed and breakfast inn with five (5) guest rooms and a manager's quarters. The facility would be permitted to conduct up to 12 commercial weddings annually with up to 125 attendees per wedding. (APN 008-030-033).

**Applicant:** Jay Wilderotter

**Supervisorial District V**

**Location:** 19890 Shenandoah School Road, approximately one-quarter mile east of the intersection with Shenandoah Road in the Shenandoah Valley area.

**Environmental Document:** Mitigated Negative Declaration

- A. General Plan Designation of Area:** A-G, Agricultural-General (one family per 40 acre population density).
- B. Present Zoning:** "AG," Exclusive Agriculture
- C. Acreage Involved:** 40.00 acres.
- D. Description:** The project site is currently developed with a 1,586 square-foot single-family residence, 5,000 square-foot winery, and 1,800 square-foot tasting room facility. The existing dwelling would be demolished to accommodate the project. The project also includes a request to allow up to 12 commercial weddings per year with up to 125 attendees per wedding in accordance with County Code Section 19.48.140.

Amador County Code Section 19.08.065 (attached) defines a Bed and breakfast inn as "a lodging house providing room and breakfast to guests staying thirty days or less." Section 19.48.140 (attached) allows for Bed and Breakfast Inns to be established in the "R1," "R2," "R3," "RE," "A," "AG," "C1," "C2," "X," "R1A," and "PD" zone districts subject to first obtaining a Use Permit, and establishes criteria for bed and breakfast inns that host commercial weddings.

- E. TAC Review and Recommendations:** The Amador County Technical Advisory Committee (TAC) met on this proposal at their May 18, 2015 meetings. The TAC members have no technical objections to the Planning Commission approving this use permit subject to the Findings and Conditions of Approval included with the staff report.
- F. Planning Commission Action and Findings:** If the Planning Commission moves to approve the Use Permit request, the following findings are recommended for adoption:

1. The granting of this Use Permit is sanctioned by County Code Section 19.48.180 (Bed &

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Breakfast Inn Use Permit requirements) and is consistent with County Code Section 19.56.040 (Use Permit Findings) in that the project proposed, with conditions as submitted by staff, will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood or to the general welfare of the County; and

2. A review of the Use Permit request was conducted by the Technical Advisory Committee who, through their own research and the Environmental Checklist, found this project will not have a significant effect on the environment due to the mitigation measures and conditions incorporated and a Mitigated Negative Declaration will be adopted and filed with the County Recorder.

**CONDITIONS OF APPROVAL &  
MITIGATION MONITORING PROGRAM  
FOR  
THE GRAND RESERVE INN BED & BREAKFAST USE PERMIT**

**ADDRESS:** 19890 Shenandoah School Road, Plymouth, CA 95669

**PHONE:**

**APN:** 008-030-033

**USE PERMIT NO.:** UP-15;5-1

**PLANNING COMMISSION DATE OF APPROVAL:** JULY 14, 2015

**PROJECT DESCRIPTION AND LOCATION:** Use Permit to allow the construction of a 6,360 square-foot, Bed and Breakfast Inn. The project includes a request to allow up to 12 commercial weddings per year with up to 125 attendees per County Code Section 19.48.140. The project will include a 1,582 square-foot internal court yard, and 6 parking spaces.

**CONDITIONS OF APPROVAL:**

1. *No permits shall be issued, fees paid, or activity commence, as they relate to this project, until such time as the Permittee has provided the Planning Department with the California Department of Fish and Wildlife Filing Fee for a Notice of Determination or a Certificate of Fee Exemption from the California Department of Fish and Wildlife. THE PLANNING DEPARTMENT SHALL MONITOR THIS REQUIREMENT.*
2. *This Use Permit shall not become valid, nor shall any uses commence until such time as the Permittee is either found to be in compliance with or has agreed, in writing, to a program of compliance acceptable to the County. At that time the permit shall be signed by the Planning Department and the use shall commence. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.*
3. *The issuance of this Use Permit is expressly conditioned upon the permittee's compliance with all the provisions contained herein and if any of the provisions contained herein are violated, this Use Permit may be subject to revocation proceedings as set forth in Amador County Code. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.*
4. *The project shall be substantially the same as approved. Any substantial changes must be submitted for approval by the Amador County Planning Commission. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.*
5. Only short-term lodging, 30 days or less, shall be provided in a maximum of 5 guest

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- rooms, and the owner or manager shall be required to occupy the property. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
6. Adequate dust-free, off-street parking shall be provided for a minimum of six vehicles (one for each of the five guest rooms and one additional space for the owner or manager). THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
  7. Only breakfast shall be served and food service shall be restricted to guests only, not the general public. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
  8. The Bed and Breakfast Inn shall be restricted to one advertising sign which may be either freestanding or affixed to the main building. The sign shall not have an advertising surface of one side greater than sixteen square feet. Non-flashing illumination shall be permitted. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
  9. Prior activation of the Use Permit, the applicant shall obtain a valid food facility permit to operate a Bed and Breakfast Inn from the Environmental Health Department. The food facility permit shall remain in effect for the life of the Use Permit. THE ENVIRONMENTAL HEALTH DEPARTMENT SHALL MONITOR THIS CONDITION.
  10. Any food service provided at weddings and other special events held on the premises shall be prepared off-site and served by a caterer holding a valid permit from the Amador County Health Department. THE ENVIRONMENTAL HEALTH DEPARTMENT SHALL MONITOR THIS CONDITION.
  11. Prior activation of the Use Permit, the applicant must obtain a valid Cal-Code Water System permit from the Environmental Health Department. The water system permit must remain in effect for the life of the Use Permit. THE ENVIRONMENTAL HEALTH DEPARTMENT SHALL MONITOR THIS CONDITION.
  12. Prior to activation of the Use Permit, the applicant shall obtain final approval of the construction permit for the on-site sewage disposal system that is to serve the proposed Bed and Breakfast. In order to obtain final approval the designer must certify that the sewage disposal system is sufficient to serve the uses authorized by the Use Permit. The designer may specify additional portable facilities, if needed, to support the number of attendees. THE ENVIRONMENTAL HEALTH DEPARTMENT SHALL MONITOR THIS CONDITION.
  13. Prior to activation of the Use Permit, the applicant shall provide documentation to the Amador County Environmental Health Department that the site is in full compliance with the requirements of the Unified Program regarding hazardous materials business plan requirements, hazardous waste generation, treatment or storage, aboveground petroleum storage, and underground tanks. If a hazardous materials business plan is required, the

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emergency response portion shall include a plan for the evacuation of visitors in the event of a hazardous materials incident. The applicant shall substantially comply with all requirements of the Unified Program throughout the life of the Use Permit. THE ENVIRONMENTAL HEALTH DEPARTMENT SHALL MONITOR THIS CONDITION.

14. Commercial weddings held at the facility shall be limited to 125 attendees per event, with a maximum of 12 commercial weddings held per year. A minimum of one on-site parking space per two attendees shall be provided and maintained in a dust-free, non-combustible. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
15. Other events, such as birthday parties, graduation parties, corporate meetings, etc., must be incidental events conducted by guests of the Bed and Breakfast Inn and not the general public. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
16. In accordance with California Fire Code Chapter 5, 2013 Edition, and Amador Fire Protection District requirements, the project shall meet the following conditions:
  - a. Fire apparatus access shall be 20 feet in width to within 150 feet of all structures, event locations, and parking. An approved turn-around will be provided at access termination if it is a dead-end.

Where emergency access is provided differently from guest entrance than a sign shall be provided at the entrance to the emergency access indicating such use. (Section 503.1.1, California Fire Code)

Where emergency access across the existing driveway and bridge, a turn out shall be constructed on each side of the bridge with an additional width of ten feet (10') on the side of normal traffic travel direction. These turn outs shall be long enough to allow a tractor-trailer combination 65' in length to pull completely off the access way.

The turn outs shall provide visibility of the complete bridge from the cab of a truck or car using the turn out.

- b. If gates are across fire apparatus access they shall be two feet wider than the access and a minimum of 30 feet back from intersecting roadway. (Title 14, Section 1273.11)
- c. If gates are across fire apparatus access, provide Knox® access control. Order forms are available at the AFD office. (Section 503.6 California Fire Code)

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- d. Address numbers shall be posted and visible from the street that the driveway(s) are open to. *Section 505 California Fire Code*
- e. The NFPA standard for emergency fire suppression water requires 16,200 gallons emergency fire suppression water in onsite storage. This amount is reduced by 75% due to the automatic fire sprinkler systems required in new dwellings. Therefore, provide a minimum of 4,000 gallons of emergency fire suppression water in an approved location with the following items. *Section 507.2.2 California Fire Code*)
- f. Provide a six (6") inch fire water hydrant and valve supplied from the storage supply noted above with female swivel National Standard Fire Thread and plug at a location a minimum of 50 feet from and within ¼ mile of any building, facility, or event area to be protected. A turnout shall be provided at the hydrant location so as to not obstruct other traffic with a parked fire engine. (Section 507, California fire Code and NFPA standards 22 and 24)
- g. Provide protection bollards for the drafting hydrant noted above. *California Fire Code section 312.2 Posts*. Guard posts shall comply with all of the following requirements:
  1. Constructed of steel not less than 4 inches (102 mm) in diameter and concrete filled.
  2. Spaced not more than 4 feet (1219 mm) between posts on center.
  3. Set not less than 3 feet (914 mm) deep in a concrete footing of not less than a 18-inch (381 mm) diameter.
  4. Set with the top of the posts not less than 3 feet (914 mm) above ground.
  5. Located not less than 3 feet (914 mm) from the protected object.
- h. Underground supply for hydrants and fire sprinklers as required shall be preceded by plans by the installing contractor or design engineer including:
  1. Size
  2. Length
  3. Location
  4. Material
  5. Point of connection to tank
  6. Sizes, types, and locations of valves, valve indicators, regulators, meters, and valve pits
  7. Depth at which the top of the pipe is laid below grade
  8. Method of restraint
  9. UL listing of all materials
  10. Fire department connection. *NFPA 24, 2013 edition and CFC 912*
  11. Show the location of this water storage facility and apparatus access to it on the site plans noted above for review.

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- i. Parking for events shall be on a non-combustible surface and not inhibit fire apparatus access road. (Section 3.14 Title 19 CCR)
- j. Tents and canopies shall be used only in accordance with Chapter 31 California Fire Code.
- k. Automatic fire sprinklers are required in this building in accordance with California Residential Code and plans shall be submitted to the Amador Building Department for review, approval, and inspection.
- l. A red inspection record card will be issued at the time the plans are approved. This card is required to be available for the inspector during all inspections. Inspections will not be conducted without the red card. Lost red cards will be replaced at a fee of \$10.<sup>00</sup> to be paid at AFPD HQ prior to any inspections. Section 105.3.5 California *Fire Code*

THE AMADOR FIRE PROTECTION DISTRICT WILL MONITOR CONDITIONS 16(a) through 16(l).

- 17. A minimum of one parking space for Bed and Breakfast Inn guests shall meet the accessibility requirements of the Americans with Disabilities Act, with continuous ADA accessibility to the facility entrance. THE BUILDING DEPARTMENT SHALL MONITOR THIS CONDITION.
- 18. Construction activities involving grading and excavation shall be conducted between April 1 and November 1 when major storms are not likely to occur, unless grading for emergency construction is authorized by the Department of Transportation and Public Works. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
- 19. As part of the Erosion Control Plan required to be submitted with any grading permit application, submit to the Building Department and the Department of Transportation and Public Works an updated drainage study, or equivalent, prepared by a Registered Civil Engineer. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
- 20. Design of the drainage plan shall be in conformance with criteria as designated in County Code Chapter 17.90, including rights-of-way, channels, swales and appurtenances as needed to provide adequate positive storm drainage facilities. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
- 21. No drainage work shall be done without a minimum 48-hour notice to the Public Works

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Inspector. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.

22. Prior to issuance of a Building Permit, the permittee shall obtain an encroachment permit from the Department of Transportation and Public Works for the construction of a commercial driveway encroachment to Shenandoah School Road including any required appurtenances. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
23. Prior to obtaining a Certificate of Occupancy, the commercial driveway encroachment to Shenandoah School Road shall be constructed and shall conform to Public Works Standard PW-6A for a Standard Commercial Driveway Approach to Local Road, or an alternate equivalent design prepared by a Registered Civil Engineer or Architect approved by the Director of Transportation and Public Works. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
24. Prior to issuance of the Use Permit, the private driveways shall conform to the requirements pertaining to driveways in County Code Chapters 12.08 and 15.30. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
25. The permittee shall pay the actual costs of Plan Checking, Inspection, and Testing as provided in County Code Chapter 17.40 prior to issuance of the Use Permit. Five percent (5%) of a Registered Civil Engineer's Estimate of the Improvement Costs shall be deposited with the Department of Transportation and Public Works (2½% at the time of submission and 2½% prior to inspection and testing). THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
26. Prior to issuance of a Building Permit, the developer shall pay the Regional Traffic Mitigation Fee and Local Traffic Impact Fee in accordance with Section 7.80 of the County Code at the rate(s) in effect at the time of payment. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
27. Prior to issuance of a Building Permit, Grading Permit or Encroachment Permit, the developer shall provide evidence or copies of any permit issued or required by any applicable regulatory agency. THE DEPARTMENT OF TRANSPORTATION AND PUBLIC WORKS SHALL MONITOR THIS CONDITION.
28. Prior to issuance of a demolition or building permit, the applicant shall provide a statement, for the review and approval of the Planning Department, that if historic, archaeological, and/or paleontological resources are encountered during site grading or other site work, all such work shall be halted immediately within the area of discovery and the developer shall immediately notify the Planning Department of the discovery. In such case, the developer shall, at their expense, retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The archaeologist shall be required to submit to the Planning Department for



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review and approval a report of the findings and method of curation or protection of the resources. Further grading or site work within the area of discovery shall not be allowed until the preceding steps have been taken. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.

29. Outdoor use of amplified music shall cease at 9:00 p.m. Sunday through Thursday, and 10:00 p.m. Friday and Saturday. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.
30. Pursuant to County Code Section 19.48.140A.7, a NOTE shall prominently be placed on the issued Use Permit warning the Permittee that the permit was approved with full knowledge of agricultural, industrial, or commercial uses on adjacent or nearby properties.

PROPOSED  
**NEGATIVE DECLARATION**  
**CALIFORNIA ENVIRONMENTAL QUALITY ACT**

**ENDORSED  
FILED**

**JUN 24 2015**

KIMBERLY L. GRADY, County Clerk  
AMADOR COUNTY

By E. LACKEY Deputy

**PROJECT:** Grand Reserve Inn Bed & Breakfast

**LEAD AGENCY:** Amador County Planning Commission

**PROJECT DESCRIPTION:** Use Permit to allow the construction of a 6,360 square-foot dwelling to be used as a bed and breakfast in with five (5) guest rooms and a manager's quarters. The facility would be permitted to conduct up to 12 commercial weddings annually with up to 125 attendees per wedding.

**LOCATION:** 19890 Shenandoah School Road, approximately one-quarter mile east of the intersection of with Shenandoah Road, in the Shenandoah Valley (APN 008-030-033).

**FINDINGS:** There is no substantial evidence the approval of the Use Permit will have a significant adverse effect on the physical environment.

**STATEMENT OF REASONS:**

1. The project is consistent with the Amador County General Plan and Zoning District at this location;
2. The approval of the Use Permit by the Planning Commission is sanctioned by County Code Section 19.28.020(J)- Additional Uses and is consistent with County Code Section 19.56.040 (Use Permit findings) in that the establishment, maintenance or operation of the use applied for will not under any circumstances be detrimental to the health, safety, peace, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the County, due to the implementation of proposed Conditions of Approval and Mitigation Measures;
3. A review of the Use Permit request was conducted by the Technical Advisory Committee who through their own research and the Environmental Checklist, found this project will not have a significant effect on the environment due to the mitigation measures and conditions incorporated and a Mitigated Negative Declaration will be adopted and filed with the County Recorder.

**PUBLIC HEARING:** The Planning Commission will hold a public hearing on this project on **July 14, 2015 at 7:00 PM** or as soon thereafter as can be heard at the County Administration Center, 810 Court Street, Jackson, CA. 95642.

**PREPARATION OF STUDY:** Information on file with the Amador County Planning Department, 810 Court Street, Jackson, CA, (209) 223-6380; File No. **UP-15; 5-1.**

  
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Chuck Beatty, Planner III

Date: June 24, 2015

Posted On: 06 / 24 / 2015

**MITIGATED NEGATIVE DECLARATION/INITIAL ENVIRONMENTAL STUDY**

<b>Project Title:</b>	Grand Reserve Inn
<b>Lead Agency Name and Address:</b>	Amador County Planning Department
<b>Contact Person/Phone Number:</b>	Chuck Beatty 209-223-6380
<b>Project Location:</b>	19890 Shenandoah School Road (APN 008-030-033)
<b>Project Sponsor's Name and Address:</b>	Jay Wilderotter, Wilderotter Family Trust 19890 Shenandoah School Road, Plymouth, CA 95669
<b>General Plan Designation(s):</b>	A-G, Agricultural-General
<b>Zoning:</b>	"AG," Exclusive Agricultural
<b>Description of project: (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation.)</b>	Demolition of a 1,586 square-foot single-family dwelling, and construction of a 6,360 square-foot, 6-bedroom dwelling to be used as a bed and breakfast inn (5 guest bedrooms; 1 manager's quarters). The project will include a 1,582 square-foot internal court yard and 6 parking spaces. The bed and breakfast inn will also conduct up to 12 commercial weddings annually with a maximum of 125 attendees per wedding.
<b>Surrounding land uses and setting: Briefly describe the project's surroundings:</b>	The project is located in the Shenandoah Valley of Amador County surrounded by parcels 30 to 300 acres in size which are used for single-family homes and agriculture, primarily vineyards.
<b>Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement.)</b>	None.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, as indicated by the checklist and corresponding discussion on the following pages.

- |   |   |   |
|---|---|---|
| <input type="checkbox"/> Aesthetics               | <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Air Quality                        |
| <input type="checkbox"/> Biological Resources     | <input type="checkbox"/> Cultural Resources                 | <input type="checkbox"/> Geology / Soils                    |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials      | <input type="checkbox"/> Hydrology / Water Quality          |
| <input type="checkbox"/> Land Use / Planning      | <input type="checkbox"/> Mineral Resources                  | <input type="checkbox"/> Noise                              |
| <input type="checkbox"/> Population / Housing     | <input type="checkbox"/> Public Services                    | <input type="checkbox"/> Recreation                         |
| <input type="checkbox"/> Transportation / Traffic | <input type="checkbox"/> Utilities / Service Systems        | <input type="checkbox"/> Mandatory Findings of Significance |

**DETERMINATION:** (To be completed by the Lead Agency)

On the basis of the initial evaluation:

<input type="checkbox"/>	I find that the proposed project COULD NOT have a significant effect on the environment, and a <b>NEGATIVE DECLARATION</b> will be prepared.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A <b>MITIGATED NEGATIVE DECLARATION</b> will be prepared.
<input type="checkbox"/>	I find that the proposed project MAY have a significant effect on the environment, and an <b>ENVIRONMENTAL IMPACT REPORT</b> is required.
<input type="checkbox"/>	I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An <b>ENVIRONMENTAL IMPACT REPORT</b> is required, but it must analyze only the effects that remain to be addressed.
<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

\_\_\_\_\_  
Signature – Name, Chairman Planning Commission

\_\_\_\_\_  
Date

**EVALUATION OF ENVIRONMENTAL IMPACTS:**

- 1) A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
- 4) "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from "Earlier Analyses," as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c) (3) (D). In this case, a brief discussion should identify the following:
  - a) Earlier Analysis Used. Identify and state where they are available for review.
  - b) Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c) Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a) The significance criteria or threshold, if any, used to evaluate each question; and
  - b) The mitigation measure identified, if any, to reduce the impact to less than significance.

Chapter 1. AESTHETICS – Would the Project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Scenic Vistas:** The most significant views of the area are vineyards located on gently rolling topography, commercial wine production facilities, and single-family homes. Existing views would not be significantly obstructed by the project due to the requirements outlined in County Code for setbacks and height limitations in the zoning district. Project implementation would not have a substantial adverse effect on a scenic vista. The impact is less than significant.

**Scenic Resources within a Scenic Highway:** The project is not located within a designated or eligible State Scenic Highway corridor; therefore, there is no impact.

**Visual Character:** The project would replace an existing 1,586 square-foot single-story dwelling with a 6,360 square-foot single-story bed and breakfast inn. The highest roofline of the project would be approximately 20 feet above the lowest adjacent grade, well within the range of residential and agricultural buildings within the area. The impact to visual character will be less than significant.

**Light and Glare:** Although there will be the potential for increase in outdoor lighting from the new structure and appurtenances, this increase is not anticipated to be substantial. Impacts due to light and glare are less than significant.

**Mitigation:** None required.

**Source:** Amador County Planning Department.

<p><b>Chapter 2. AGRICULTURE AND FOREST RESOURCES</b> – In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the CA Dept. of Forestry and Fire Protection regarding the state’s inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. – Would the project:</p>	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the CA Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in PRC §12220(g)), timberland (as defined in PRC §4526), or timberland zoned Timberland Production (as defined by Government Code § 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Conversion of farmland:**

The proposed project is located in an area designated as Prime Farmland as defined by the Farmland Mapping and Monitoring Program. The parcel is currently planted with approximately 31 acres of vineyard, of which 0.10 acres would be removed to accommodate this project. The impact is less than significant with the incorporation of Mitigation Measure 2.1, below.

**Conflict with a Williamson Act contract:**

The proposed project is located on land included in California Land Conservation Act (Williamson Act) contract #282. The use of the property for a bed & breakfast inn is sanctioned by County Code Section 19.28.020(J), which allows bed & breakfast inns in all zoning districts, subject to obtaining a Use Permit. The use is, therefore, deemed compatible with the Williamson Act. However, the project will require the removal of approximately 0.10 acres of vineyard to accommodate the proposed building and parking layout. With the incorporation of Mitigation Measure 2.1, below, the impact to California Land Conservation Act #282 is less than significant.

**Conflict with zoning for, or cause rezoning of, forest land:**

No forest or timber land zoning has been established at the project site or in the project vicinity. There is no impact.

**Loss conversion of forest land:**

No forest land is present at the project site or in the project vicinity. No forest land would be affected by the project. There is no impact.

**Loss or conversion of farmland, to non-agricultural use:**

The project would not involve other changes that could result in the conversion of farmland to non-agricultural use. There is no impact.

**Mitigation:**

**Mitigation Measure 2.1 – All vineyard removal shall be replanted on-site at a ratio equal to the acreage removed.**

**Source: Amador County Important Farmland Map 2010; Amador County General Plan; Planning Department; California Department of Conservation, Division of Farmland Mapping and Monitoring; California Land Conservation Act #282.**



<b>Project Name: Wilderotter Bed &amp; Breakfast</b>	<b>INITIAL STUDY/NEGATIVE DECLARATION</b>
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<b>Chapter 3. AIR QUALITY</b> – Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the Project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is on-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose sensitive receptors to substantial pollutant concentrations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Air Quality Plan:** Amador County does not have an air quality plan. There is no impact.

**Air Quality Standards:** The project will not cause a violation of an air quality standard or contribute substantially to an existing air quality violation. Conditions to control fugitive dust emissions may be imposed at the time any building permits are issued. Outdoor fires ignited on the property must comply with the rules and regulations of the Amador Air District. All air contaminants that may be generated by activities on this property must comply with the Rules and Regulations of the Amador Air District. There is no impact.

**Increase in Criteria Pollutant:** Amador County is a Non-attainment area for the State of California’s 1-Hour Ozone Standard (0.09 ppm) and the US EPA’s 8-Hour Ozone Standard (0.08 ppm). Construction activities and fires occurring on this property would be of short duration. No net cumulative increase in ozone precursor emissions is expected from this action. All air contaminants generated by activities on this property must comply with the Rules and Regulations of the Amador Air District. There is no impact.

**Sensitive Receptors:** Substantial air pollutant concentrations will not be generated by construction activities on this property related to this project. This project will not expose sensitive receptors to substantial pollutant concentrations. There is no impact.

**Objectionable Odors:** Substantial quantities of objectionable odor should not be generated by the current activities on the property, or by the uses allowed under the requested Use Permit. All air contaminants generated by activities on this property must comply with the Rules and Regulations of the Air District. There is no impact.

**Mitigation:** None required.

**Source:** Amador Air District, Amador Planning Department, California Air Resources Board.

<b>Project Name: Wilderotter Bed &amp; Breakfast</b>	<b>INITIAL STUDY/NEGATIVE DECLARATION</b>
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Chapter 4. BIOLOGICAL RESOURCES – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the CA Dept. of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations or by the CA Dept. of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Would the project have a substantial adverse effect, either directly or through habitat modifications, on any species identified as candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?** The following databases were reviewed to identify potential candidate, sensitive, and special-status species within the nine USGS 7.5 minute quadrangles surrounding the project area: the US Fish & Wildlife Service/Sacramento Fish & Wildlife Office’s list of Federal Endangered and Threatened Species; the California Department of Fish & Wildlife’s Biogeographic Information & Observation System (BIOS); and the California Native Plant Society’s online Inventory of Rare and Endangered Plants. These databases revealed habitat potential for the following species within the nine-quad area: California red-legged frog (*Rana draytonii*), California tiger salamander (*Ambystoma californiense*); Foothill yellow-legged salamander (*Rana boylei*), Tricolored blackbird (*Agelaius tricolor*); Yellow-breasted chat (*Icteria virens*); Pallid bat (*Antrozous pallid*); Townsend’s big-eared bat (*Corynorhinus townsendii*); Western pond turtle (*Emys marmorata*), Coast horned lizard (*Phrynosoma blainvillii*); lone

buckwheat (*Eriogonum apricum* var. *apricum*); Irish Hill buckwheat (*Eriogonum apricum* var. *prostratum*); Big-scale balsamorhiza (*Balsamorhiza macrolepis*); and Prairie wedge grass (*Sphenopholis obtusata*).

The impact to Candidate, Sensitive, and Special Status Species is expected to be **less than significant** as the area has already been developed with a single family home, yard, and vineyards.

**Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?** Approximately 1,000 feet of Big Indian Creek follow the project site's eastern boundary. The project will be located approximately 250 feet from the designated 100-year floodplain for Big Indian Creek and does not involve the disturbance of riparian areas. The impact is **less than significant**.

**Would the project have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the CWA (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?** There are no federally protected wetlands located on this project site or in close proximity of this project. There is **no impact**.

**Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?** The project will be constructed on previously developed land and is not anticipated to impair or conflict with the movement of native resident or migratory fish or wildlife or their corridors and nursery sites. The impact is **less than significant**.

**Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?** Amador County does not have any local policies or ordinances protecting biological resources. There is **no impact**.

**Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?** Amador County does not have an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plans. There is **no impact**.

**Mitigation:** None.

**Source:** US Fish & Wildlife Service/Sacramento Fish & Wildlife Office's list of Federal Endangered and Threatened Species; the California Department of Fish & Wildlife's Biogeographic Information & Observation System (BIOS); and the California Native Plant Society's online Inventory of Rare and Endangered Plants; Amador County General Plan Update Draft EIR (October, 2014); Amador County Soil Survey, 1993.

<b>Project Name: Wilderotter Bed &amp; Breakfast</b>	<b>INITIAL STUDY/NEGATIVE DECLARATION</b>
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Chapter 5. CULTURAL RESOURCES – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Cause a substantial adverse change in the significance of a historical resource as defined in §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geological feature?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Historic Resources:** A review of Exhibit 4.5-1, Known Cultural Resources, of the Amador County General Plan Draft EIR (October, 2014) indicates no occurrence of historic resources on the project site. It is anticipated implementation of the project would not affect historic resources. However, implementation of Mitigation Measure 5.1, outlined below, would reduce any potential impacts to unknown resources to less than significant. Therefore, the impact is less than significant with mitigation incorporated.

**Archaeological Resources:** A review of Exhibit 4.5-1, Known Cultural Resources, of the Amador County General Plan Draft EIR (October, 2014) indicates no occurrence of archaeological resources on the project site. It is anticipated implementation of the project would not affect archeological resources. However, implementation of Mitigation Measure 5.1, outlined below, would reduce any potential impacts to unknown resources to less than significant. Therefore, the impact is less than significant with mitigation incorporated.

**Paleontological Resources and Geological Features:** There are no known unique paleontological or geological resources associated with this project site. It is anticipated implementation of the project would not affect paleontological or geological resources. However, implementation of Mitigation Measure 5.1 will reduce any potential impacts to unknown resources to less than significant. Therefore, the impact is less than significant with mitigation incorporated.

**Human Remains:** This site is not a known burial site or formal cemetery. In the event of an accidental discovery or recognition of any human remains, California State Health and Safety Code §7050.5 dictates all work shall stop in the vicinity of the find and the Amador County Coroner shall be contacted immediately. If the remains are determined to be Native American, the coroner shall notify the Native American Heritage Commission who shall notify, pursuant to PRC § 5097.98, the person believed to be the most likely descendant. The most likely descendant shall work with the contractor to develop a program for re-interment of the human remains and any associated artifacts. Additional work shall not take place within the immediate vicinity of the find until the identified appropriate actions have been implemented. Per Mitigation Measure 5.1, the impact is reduced to a less than significant level.

Mitigation: MM 5.1 - Prior to issuance of a demolition or building permit, the applicant shall provide a statement, for the review and approval of the Planning Department, that if historic, archaeological, and/or paleontological resources are encountered during site grading or other site work, all such work shall be halted immediately within the area of discovery and the developer shall immediately notify the Planning Department of the discovery. In such case, the developer shall, at their expense, retain the services of a qualified archaeologist for the purpose of recording, protecting, or curating the discovery as appropriate. The archaeologist shall be required to submit to the Planning Department for review and approval a report of the findings and method of curation or protection of the resources. Further grading or site work within the area of discovery shall not be allowed until the preceding steps have been taken.

Source: Planning Department; Amador County General Plan Draft EIR (October, 2014).

DRAFT 2010 CHECKLIST

Chapter 6. GEOLOGY AND SOILS – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury or death involving:				
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geological unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Risk of Loss Injury or Death due to Geologic Hazards:** Pursuant to Division 2, Chapter 7.5, Section 2622 of the Public Resources Code (Alquist-Priolo Earthquake Fault Zoning Act), the State Geologist has determined there are no sufficiently active, or well defined faults or areas subject to strong ground shaking, liquefaction, landslides, or other ground failure in Amador County as to constitute a potential hazard to structures from surface faulting or fault creep. Additionally, Section 4.6 (Geology, Soils, Mineral Resources, and Paleontological Resources) of the Amador County General Plan Draft EIR (October, 2014) does not include the project site as an area with historic problems for landslides or mudslides. The impact is considered less than significant.

**Soil Erosion and Loss of Topsoil:** The soil in this location is identified as AaB (Ahwahnee loam, 3-9% slopes), which is defined as well-drained, with slow to medium runoff and moderate erosion hazard (Soil Survey, Amador County, 1993). Any grading activity moving more than 50 CY of soil will require a grading permit. Grading Permits are reviewed and approved by the County in accordance with Ordinance 1619 (County Code 15.40), and conditions/requirements are applied to minimize potential erosion. The issuance of a grading permit, along with

implementation of Erosion Control requirements, will minimize potential erosion resulting to a less than significant impact.

**Potential Subsidence or Liquefaction:** As indicated above, the State Geologist has determined there are no sufficiently active or well-defined faults or areas subject to strong ground shaking, liquefaction, landslides, or other ground failure in Amador County as to constitute a potential hazard to structures from surface faulting or fault creep. Additionally, Exhibit 11 of the Safety and Seismic Safety Element (1979) rates the project area as being outside of the "Known and Potential Subsidence Areas." Therefore, the impact is less than significant.

**Expansive Soils:** The project is located in an area with a rating of "moderate" on the Expansive Soils Map of the Amador County General Plan, Safety Seismic Safety Element (Exhibit 8). Therefore, the impact is less than significant.

**Soils Capable of Sewage Disposal:** The existing wastewater treatment system may not provide sufficient capacity to support the proposed use. The impact is less than significant with the implementation of Mitigation Measure 6.1, below:

**Mitigation:**

**Mitigation Measure 6.1** - *Prior to activation of the Use Permit, the applicant shall obtain final approval of the construction permit for the on-site sewage disposal system that is to serve the proposed Bed and Breakfast. In order to obtain final approval the designer must certify that the sewage disposal system is sufficient to serve the uses authorized by the Use Permit. The designer may specify additional portable facilities, if needed, to support the number of attendees at weddings.*

**Sources:** Amador County General Plan, Safety and Seismic Safety Element (1979); Soil Survey- Amador County; Planning Department; Environmental Health Department; National Cooperative Soil Survey; Amador County General Plan Draft EIR (October, 2014), California Geologic Survey: Alquist-Priolo Earthquake Fault Zones Maps.

Chapter 7. GREENHOUSE GAS EMISSIONS – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

Greenhouse gas emissions include carbon dioxide, methane, and nitrous oxide, hydrofluorocarbons, perfluorocarbons, sulfur hexafluoride, and nitrogen trifluoride. The most common form of greenhouse gas emissions from a project such as this would be from CO2 emissions from vehicles traveling to and from the site, and limited emissions from equipment on site during development and construction. The project has the potential to increase vehicle trips associated with a five-room bed and breakfast inn and caretaker’s quarters. This impact is not expected to contribute significantly to greenhouse gas levels within Amador County. The impact is less than significant.

**Plans and Policies for Greenhouse Gas Emissions:** Amador County does not currently have any adopted thresholds of significance, plans, or policies regarding greenhouse gases. New structures that may be built in the future will be required to meet CCR Title 24, Part 6, Building Energy Efficiency Standards, and would therefore be consistent with the Assembly Bill 32 Scoping Plan. Based on these facts, there will be a less than significant impact resulting from this project, to any plans and/or policies regulating Greenhouse Gas Emissions.

**Mitigation: None required.**

**Sources: Amador County General Plan Draft EIR (October, 2014).**



Chapter 8. HAZARDS AND HAZARDOUS MATERIALS – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code §65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Hazardous Materials Transport and Handling:** The project will congregate significant numbers of the public on agricultural land. It is not uncommon for agricultural businesses to handle substantial quantities of hazardous materials including fuels, lubricants, pesticides and fertilizers. There is some potential for exposure of the public to hazards related to these materials. The impact is less than significant with Mitigation Measure 8.1, below.

**Hazardous Materials Upset and Release:** The project does not significantly increase the risk of accident or upset conditions resulting in the release of hazardous materials into the environment. The impact is less than significant.

**Hazardous Emissions and Acutely Hazardous Materials Near Schools:** The project is not likely to emit hazardous emissions or handle hazardous, acutely hazardous materials, substances or wastes nor is the project located within one quarter mile of an existing or proposed school. There is no impact.

**Hazardous Materials Sites:** The project is not located on a site that is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5. There is no impact.

**Hazards and Airports (Public and Private):** The project is not located within an airport land use plan or within two miles of a public or private airport. There is no impact.

**Emergency Response Plan and Emergency Evacuation Plan:** Amador County does not have an adopted emergency response plan or emergency evacuation plan; therefore, there is no impact.

**Wildland Fire Hazards:** According to the California Department of Forestry and Fire Protection the project is located in the State Responsibility Area for wildland fire protection and is within the Moderate Severity Zone. Any future construction is required to comply with the Wildland-Urban Interface Building Codes (adopted by reference by Amador County in Chapter 15.04 of County Codes). Therefore, the impact is less than significant.

**Mitigation:**

**Mitigation Measure 8.1 -** *Prior to activation of the use permit, the applicant shall provide documentation to the Amador County Environmental Health Department that the site is in full compliance with the requirements of the Unified Program regarding hazardous materials business plan requirements, hazardous waste generation, treatment or storage, aboveground petroleum storage, and underground tanks. If a hazardous materials business plan is required, the emergency response portion shall include a plan for the evacuation of visitors in the event of a hazardous materials incident. The applicant shall substantially comply with all requirements of the Unified Program throughout the life of the Use Permit.*

**Source:** Environmental Health Department; Planning Department; Department of Transportation and Public Works; and Cal Fire.

Project Name: Wilderotter Bed &amp; Breakfast

INITIAL STUDY/NEGATIVE DECLARATION

Chapter 9. HYDROLOGY AND WATER QUALITY – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate or pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Water Quality Standards and Waste Discharge Requirements:** The project will not be subject to waste discharge requirements and is unlikely to significantly contribute to a violation of water quality standards. The impact is less than significant.

**Groundwater Supplies:** The project is unlikely to significantly impact groundwater supplies via extraction or the creation of extensive hard surfaces which pose a barrier to recharge. The impact is less than significant.

**Erosion/Siltation/Drainage:** The project will not alter the course of surface water drainage patterns of the area, or substantially increase the rate or amount of surface runoff in a manner which would result in substantial erosion or siltation on- or off-site with the incorporation of Mitigation Measures 9.1 through 9.4, below.

**Flooding:** The onsite drainage patterns and impervious surface area will not be altered such that the volume or velocity of surface water runoff results in flooding on-or off-site. The impact is less than significant.

**Storm water system capacity/Polluted runoff:** The existing stormwater system consists of natural overland flow and no planned stormwater drainage systems are proposed for the site. The project area consists of residential and cultivated land use and the project residences at the current zoning and general plan densities will not provide substantial additional sources of polluted runoff. The impact is less than significant.

**Water quality:** The project will not have an impact on the quality of surface water or ground water supplies or resources, as indicated above.

**Flood Hazard:** The project site is located in Zone X, an area outside of the 500 year flood plain as identified in the FEMA Flood Insurance Rate Map dated May 20, 2010. There is no impact.

**Dam/Levee Failure:** There is no know dam or levee that could affect the project site; there will be no impact.

**Seiche/tsunami/mudflow:** The project site would not be affected by seiche, tsunami, or mudflow; therefore, there is no impact.

**Mitigation:**

**Mitigation Measure 9.1** - *Construction activities involving grading and excavation shall be conducted between April 1 and November 1 when major storms are not likely to occur, unless grading for emergency construction is authorized by the Department of Transportation and Public Works.*

**Mitigation Measure 9.2** - *As part of the Erosion Control Plan required to be submitted with any grading permit application, submit to the Building Department and the Department of Transportation and Public Works an updated drainage study, or equivalent, prepared by a Registered Civil Engineer.*

**Mitigation Measure 9.3** - *Design of the drainage plan shall be in conformance with criteria as designated in County Code Chapter 17.90, including rights-of-way, channels, swales and appurtenances as needed to provide adequate positive storm drainage facilities.*

**Mitigation Measure 9.4** - *No drainage work shall be done without a minimum 48-hour notice to the Public Works Inspector.*

**Source:** Amador County Department of Transportation and Public Works; Environmental Health Department; and Planning Department.

Chapter 10. LAND USE AND PLANNING – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Divide an Established Community:** The project site is in an area designated in the General Plan for parcels 40 acres or larger, and is surrounded by parcels ranging in size from 30 to 300 acres with various residential, agricultural, and open space uses. All construction is proposed to be within the applicable building setbacks for the area and will not encroach into or disrupt any established roadways, walkways, trails, streams, or drainage areas, and will not cause a physical division of an established community. There is no impact.

**General Plan and Zoning Consistency:** The General Plan designation for the area is A-G (Agricultural-General), and is zoned "AG," Exclusive Agricultural. These land use classifications permit bed and breakfast inns (up to 5 guest rooms) with commercial weddings as conditional uses following an analysis of the impacts of the project on the environment. The number of proposed guest rooms (5) is consistent with the General Plan and Zoning Ordinance. The potential use of the bed and breakfast for weddings is subject to environmental review and mitigation measures as required by Chapters 5, 6, 8, 12, 14, and 16 of this study. The impact is less than significant with mitigation.

**Habitat Conservation Plan or Natural Community Conservation Plan:** Amador County does not have an adopted habitat conservation plan or natural community conservation plan; therefore, there is no impact.

**Mitigation:** None required.

**Source:** Amador County Code, Title 19 (Zoning); Amador County General Plan; Planning Department, Environmental Health Department.

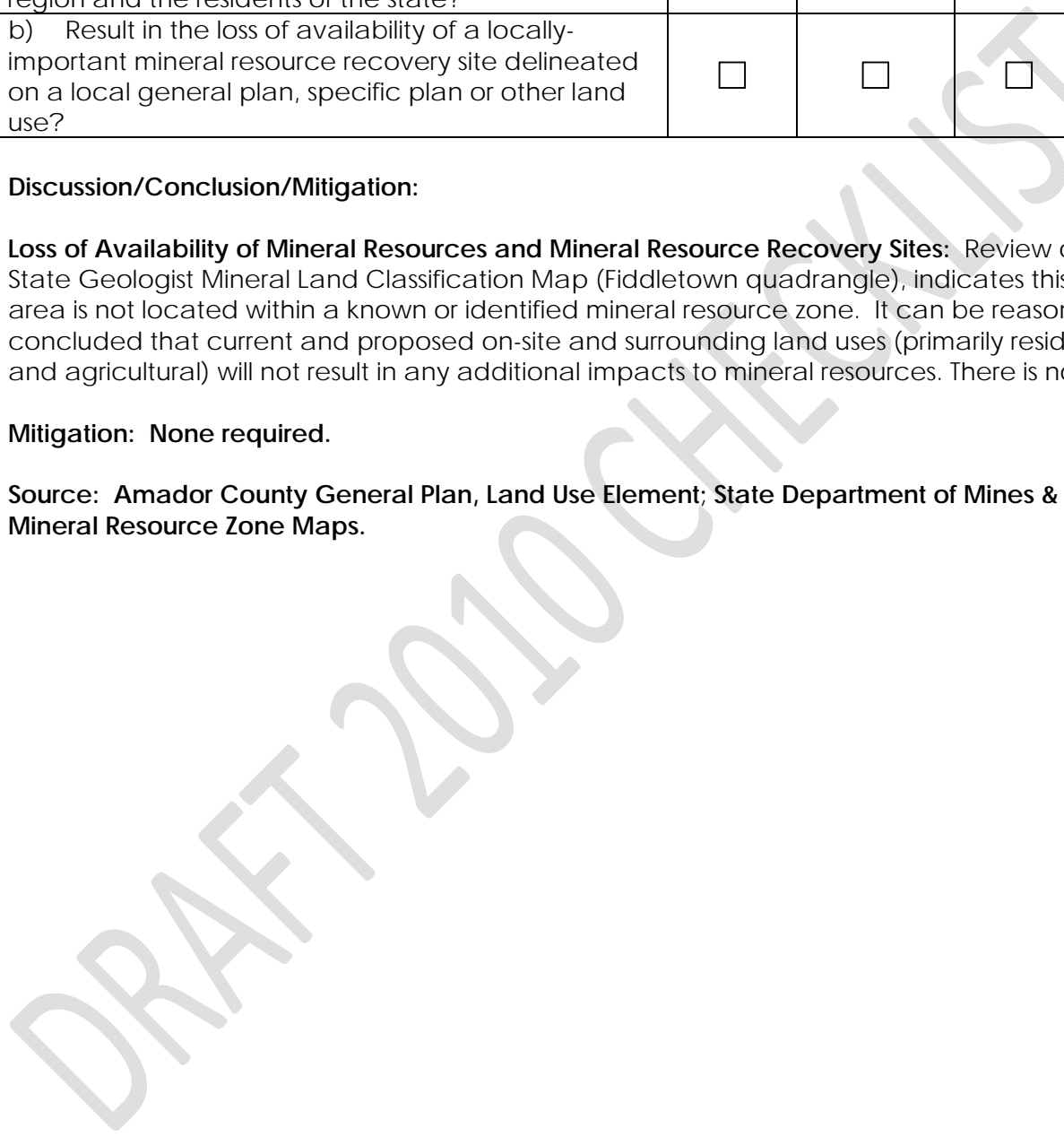
Chapter 11. MINERAL RESOURCES – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Loss of Availability of Mineral Resources and Mineral Resource Recovery Sites:** Review of the State Geologist Mineral Land Classification Map (Fiddletown quadrangle), indicates this project area is not located within a known or identified mineral resource zone. It can be reasonably concluded that current and proposed on-site and surrounding land uses (primarily residential and agricultural) will not result in any additional impacts to mineral resources. There is no impact.

**Mitigation:** None required.

**Source:** Amador County General Plan, Land Use Element; State Department of Mines & Geology, Mineral Resource Zone Maps.



<b>Chapter 12. NOISE – Would the project:</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant Impact with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Noise Levels in Excess of Standards:** The project is within the anticipated densities and uses in the effective zoning and general plan designations and will not result in the exposure of persons to or generation of noise levels in excess of standards established in the County’s general plan. There impact is less than significant.

**Groundborne vibrations and noise levels:** The project will not increase groundborne vibrations or noise levels; therefore, there is no impact.

**Substantial Permanent Increase in Noise Levels:** The project is unlikely to generate permanent increases in ambient noise levels. The impact is less than significant.

**Substantial Temporary or Periodic Increase in Ambient Noise Levels:** The use of the property for commercial weddings may generate additional noise from amplified music. The impact is less than significant with the incorporation of Mitigation Measure 12.1, below.

**Noise Levels and Public and Private Airports/Airstrips:** The project is not located within an airport land use plan or within two miles of a public or private airport. There is no impact.

**Mitigation Measure 12.1 – *Outdoor use of amplified music shall cease at 9:00 p.m. Sunday through Thursday, and 10:00 p.m. Friday and Saturday.***

**Source: Planning Department; Amador County General Plan.**

Chapter 13. POPULATION AND HOUSING – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

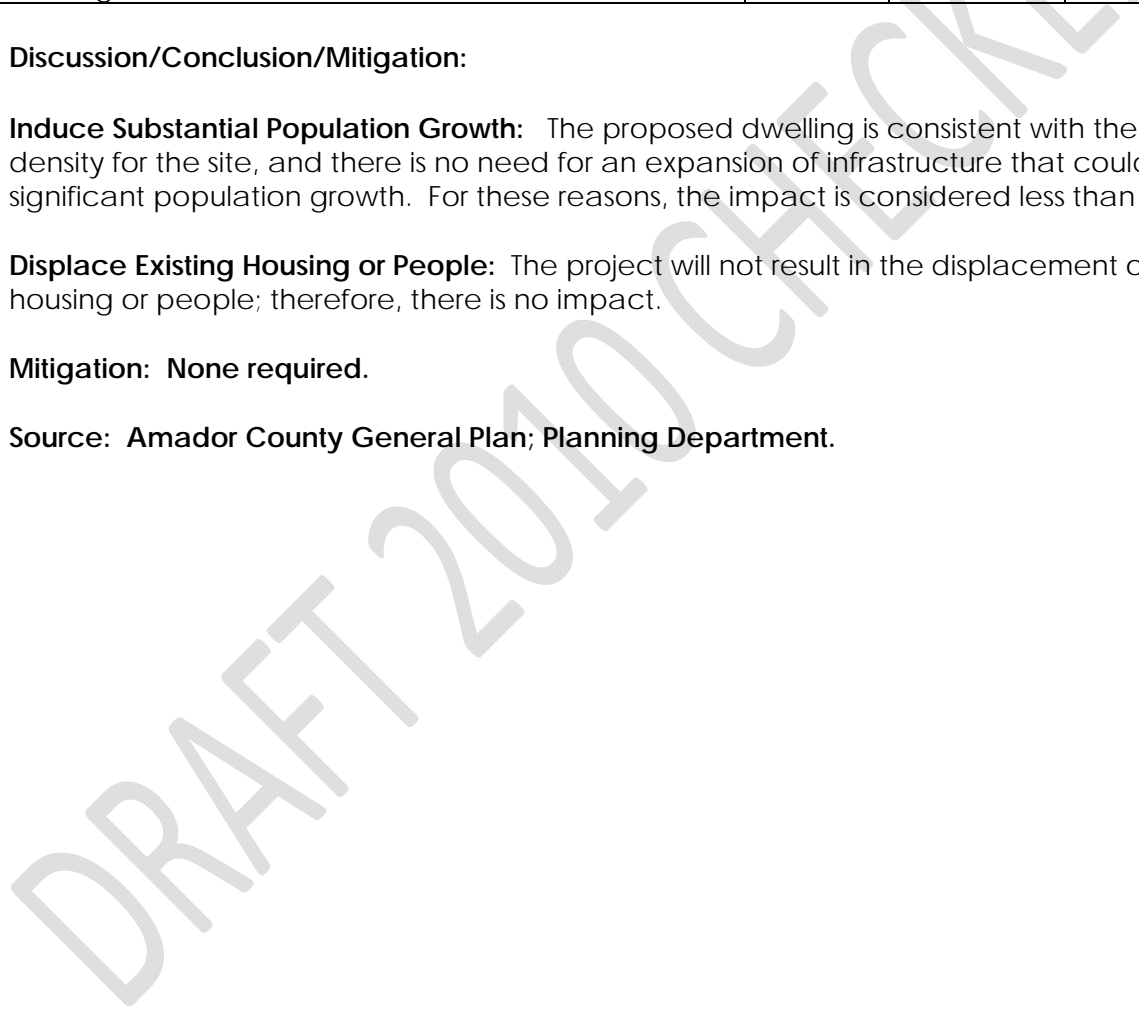
**Discussion/Conclusion/Mitigation:**

**Induce Substantial Population Growth:** The proposed dwelling is consistent with the general plan density for the site, and there is no need for an expansion of infrastructure that could induce significant population growth. For these reasons, the impact is considered less than significant.

**Displace Existing Housing or People:** The project will not result in the displacement of existing housing or people; therefore, there is no impact.

**Mitigation:** None required.

**Source:** Amador County General Plan; Planning Department.





Chapter 14. PUBLIC SERVICES – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services:				
• Fire protection?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
• Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Fire Protection:** The Amador Fire Protection District has reviewed this project and has determined that no new or altered fire facilities are required. In addition, in order to mitigate the impact on fire protection services to a less than significant level, mitigation measures 14.1 through 14.7 are recommended:

**Police Protection:** The project does not propose an increase population density of the area. The existing dwelling on the site will be replaced with another single-family dwelling and the bed and breakfast inn will serve a transient population. Additionally, the County Facility Fee is collected at the time any single family dwelling is constructed to help offset the impacts new single family dwellings have on police facilities. Therefore, the impact is less than significant.

**Schools:** Implementation of the project will not cause an increase in the number of students attending a school within the Amador County Unified School District. Impacts on schools are mitigated by the payment of mandatory school impact fees at the time a single family dwelling is constructed. Therefore, the impact is less than significant.

**Parks:** No new or improved parks are required as a result of this project. Impacts to recreational facilities are mitigated by the payment of the County’s Recreation Impact Fee collected at the time any single family dwelling is constructed. The impact is anticipated to be less than significant.

**Other Public Facilities:** The project is consistent with the general plan and the project is not anticipated to have a significant impact on public facilities. Impact fees in addition to those outlined above may apply at the time of construction. The impact is considered to be less than significant.

**Mitigation:**

**Mitigation Measure 14.1** - Fire apparatus access shall be 20 feet in width to within 150 feet of all structures, event locations, and parking. An approved turn-around will be provided at access termination if it is a dead-end. Where emergency access is provided differently from guest entrance than a sign shall be provided at the entrance to the emergency access indicating such use. (Section 503.1.1, California Fire Code) Where emergency access across the existing driveway and bridge, a turn out shall be constructed on each side of the bridge with an additional width of ten feet (10') on the side of normal traffic travel direction. These turn outs shall be long enough to allow a tractor-trailer combination 65' in length to pull completely off the access way. The turn outs shall provide visibility of the complete bridge from the cab of a truck or car using the turn out.

**Mitigation Measure 14.2** - If gates are across fire apparatus access they shall be two feet wider than the access and a minimum of 30 feet back from intersecting roadway. (Title 14, Section 1273.11)

**Mitigation Measure 14.3** - If gates are across fire apparatus access, provide Knox® access control. (Section 503.6 California Fire Code)

**Mitigation Measure 14.4** - Address numbers shall be posted and visible from the street that the driveway(s) are open to. Section 505 California Fire Code

**Mitigation Measure 14.5** - The NFPA standard for emergency fire suppression water requires 16,200 gallons emergency fire suppression water in onsite storage. This amount is reduced by 75% due to the automatic fire sprinkler systems required in new dwellings. Therefore, provide a minimum of 4,000 gallons of emergency fire suppression water in an approved location with the following items. Section 507.2.2 California Fire Code)

**Mitigation Measure 14.6** - Provide a six (6") inch fire water hydrant and valve supplied from the storage supply noted above with female swivel National Standard Fire Thread and plug at a location a minimum of 50 feet from and within ¼ mile of any building, facility, or event area to be protected. A turnout shall be provided at the hydrant location so as to not obstruct other traffic with a parked fire engine. (Section 507, California fire Code and NFPA standards 22 and 24)

**Mitigation Measure 14.7** - Provide protection bollards for the drafting hydrant noted above. California Fire Code section 312.2 Posts. Guard posts shall comply with all of the following requirements:

1. Constructed of steel not less than 4 inches (102 mm) in diameter and concrete filled.
2. Spaced not more than 4 feet (1219 mm) between posts on center.
3. Set not less than 3 feet (914 mm) deep in a concrete footing of not less than a 1S-inch (381 mm) diameter.
4. Set with the top of the posts not less than 3 feet (914 mm) above ground.
5. Located not less than 3 feet (914 mm) from the protected object.

**Mitigation Measure 14.8** - *Underground supply for hydrants and fire sprinklers as required shall be preceeded by plans by the installing contractor or design engineer including:*

1. *Size*
2. *Length*
3. *Location*
4. *Material*
5. *Point of connection to tank*
6. *Sizes, types, and locations of valves, valve indicators, regulators, meters, and valve pits*
7. *Depth at which the top of the pipe is laid below grade*
8. *Method of restraint*
9. *UL listing of all materials*
10. *Fire department connection. NFPA 24, 2013 edition and CFC 912*
11. *Show the location of this water storage facility and apparatus access to it on the site plans noted above for review.*

**Mitigation Measure 14.9** - *Parking for events shall be on a non-combustible surface and not inhibit fire apparatus access road. (Section 3.14 Title 19 CCR)*

**Mitigation Measure 14.10** - *Tents and canopies shall be used only in accordance with Chapter 31 California Fire Code.*

**Mitigation Measure 14.11** - *Automatic fire sprinklers are required in this building in accordance with California Residential Code and plans shall be submitted to the Amador Building Department for review, approval, and inspection.*

**Mitigation Measure 14.12** - *A red inspection record card will be issued at the time the plans are approved. This card is required to be available for the inspector during all inspections. Inspections will not be conducted without the red card. Lost red cards will be replaced at a fee of \$10.00 to be paid at AFPD HQ prior to any inspections. Section 105.3.5 California Fire Code*

**Source:** Amador County Code; Planning Department, Amador Fire Protection District.

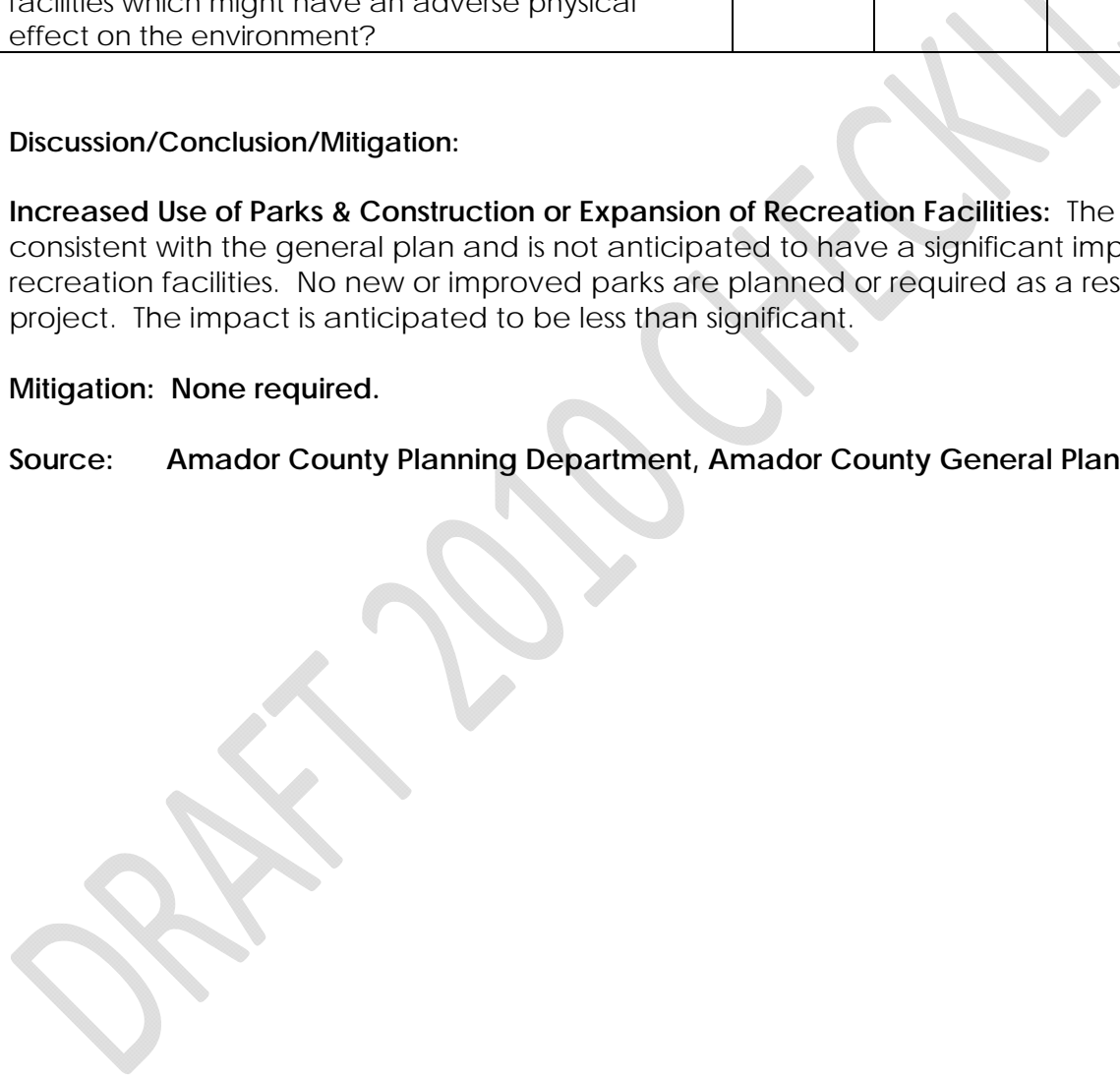
Chapter 15. RECREATION – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Increased Use of Parks & Construction or Expansion of Recreation Facilities:** The project is consistent with the general plan and is not anticipated to have a significant impact on recreation facilities. No new or improved parks are planned or required as a result of this project. The impact is anticipated to be less than significant.

**Mitigation:** None required.

**Source:** Amador County Planning Department, Amador County General Plan.



Chapter 16. TRANSPORTATION / TRAFFIC – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with an applicable plan, ordinance or policy establishing measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Result in inadequate emergency access?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Discussion/Conclusion/Mitigation:**

**Measurement of Circulation System effectiveness:** Consistency with the County Circulation Element is measured by a project’s impact to the Level of Service criteria adopted for roadways within Amador County. Regional and Local Traffic Mitigation Fees are assessed for projects based on their potential impacts on roadways. The project’s impact to Level Of Service is discussed under the Congestion Management Program below. There is a **less than significant impact** when appropriate impact fees are assessed per **Mitigation Measure 16.1, below**.

**Congestion Management Program:** Level of Service Standard criteria as established in the Regional Transportation Plan is the established congestion management program in effect for the County of Amador. Regional and Local Traffic Mitigation Fees are assessed for projects based on their potential impacts on roadways. There is a **less than significant impact** when appropriate impact fees are assessed per **Mitigation Measure 16.1, below**.

**Change in Air Traffic Patterns:** There are no nearby airports or established air traffic patterns. There is no impact.

**Hazards due to Design Features / Incompatible Uses:** The project proposes to utilize an existing encroachment onto Shenandoah School Road to access the Project. There is adequate site distance, but the encroachment will have to be improved to a Standard Road Connection. The impact is Less Than Significant with the incorporation of Mitigation Measures 16.3 and 16.4, below.

**Emergency Access:** The access to the project from the adjacent publicly maintained road (Shenandoah Road) shall conform to County Code Chapter 15.30. The impact is less than significant impact with the incorporation of Mitigation Measure 16.5, below.

**Public Transit, Bicycle, Pedestrian Facilities:** Due to the limited nature of this project, the project does not conflict with the adopted policies and programs for public transit, bicycle, or pedestrian facilities. There is no impact.

**Mitigation:**

**Mitigation Measure 16.1** - *Prior to issuance of a Building Permit, the developer shall pay the Regional Traffic Mitigation Fee and Local Traffic Impact Fee in accordance with Section 7.80 of the County Code at the rate(s) in effect at the time of payment.*

**Mitigation Measure 16.2** - *Prior to issuance of a Building Permit, the permittee shall obtain an encroachment permit from the Department of Transportation and Public Works prior to the construction of a commercial driveway encroachment to Shenandoah School Road including any required appurtenances.*

**Mitigation Measure 16.3** - *Prior to obtaining a Certificate of Occupancy, the commercial driveway encroachment to Shenandoah School Road shall conform to either Public Works Standard PW-6A for a Standard Commercial Driveway Approach to Local Road, or an alternate equivalent design prepared by a Registered Civil Engineer or Architect approved by the Director of Transportation and Public Works.*

**Mitigation Measure 16.4** - *Prior to issuance of the Use Permit, the private driveways shall conform to the requirements pertaining to driveways in County Code Chapter(s) 12.08 and 15.30.*

**Source: Amador County Transportation & Public Works Department.**

Chapter 17. UTILITIES AND SERVICE SYSTEMS – Would the project:	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Require or result in the construction of new stormwater drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

#### Discussion/Conclusion/Mitigation:

**Exceed Wastewater Treatment Requirements:** The project will not be served by a wastewater system subject to waste discharge requirements issued by the Regional Water Quality Control Board. There is no impact.

**Construction of New Water or Wastewater Treatment Facilities:** The project will require permitting as a Cal Code water system to assure safety of water provided to the public. The water system may require some additional improvements however the scope of construction is minimal from the standpoint of potential environmental impacts. An on-site sewage system will also be required but will be somewhat limited in scope. The impact is less than significant with the incorporation of Mitigation Measure 17.1, below.

**Stormwater Drainage Facilities Impacts:** Construction of the project is not anticipated to create a significant amount of storm water runoff adversely impacting drainage systems. The existing stormwater system consists of natural overland flow and no planned stormwater drainage systems are proposed for the site. The project area consists of residential and agricultural land use. There is no impact.

**Sufficient Water Supplies Available:** The project is not located in an area of the County recognized as challenging in terms of groundwater yield. The most significant use of groundwater at this location will be for irrigation – an existing use by right. By comparison, the project is unlikely to demand unusually high amounts of water. The impact is less than significant.

**Wastewater Treatment Provider Capacity:** The project will not be served by a wastewater treatment provider. There is no impact.

**Solid Waste Disposal:** The proposed project needs will be met under currently provided services, there will be no impact.

**Compliance with Solid Waste Statutes and Regulations:** The project is unlikely to generate problematic volumes or types of solid waste. The impact is less than significant.

**Mitigation:**

**Mitigation Measure 17.1** - *The applicant must obtain a valid Cal-Code water system permit from the Environmental Health Department prior to activation of the Use Permit. The water system permit must remain in the effect for the life of the Use Permit.*

**Source:** Amador County Environmental Health Department, Planning Department, and Public Works Department.

Chapter 18. MANDATORY FINDINGS OF SIGNIFICANCE	Potentially Significant Impact	Less Than Significant Impact with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Does the project have impacts that are individually limited, but cumulatively are considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



NOTE: If there are significant environmental impacts which cannot be mitigated and no feasible project alternatives are available, then complete the mandatory findings of significance and attach to this initial study as an appendix. This is the first step for starting the environmental impact report (EIR) process.

**Discussion/Conclusion/Mitigation:****POTENTIAL DEGRADATION OF THE QUALITY OF THE ENVIRONMENT:**

Based on the analysis contained in this Initial Study, impacts to Aesthetics, Agriculture and Forest Resources, Air Quality, Biological Resources, Greenhouse Gas Emissions, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Population and Housing, Recreation, and Utilities and Service Systems would result in a less than significant impact on the environment.

Impacts to Cultural Resources would be significant unless mitigated. Therefore, Mitigation Measure 5.1 is required of the project.

Impacts to Geology & Soils would be significant unless mitigated. Therefore, Mitigation Measures 6.1 and 6.2 are required of the project.

Impacts to Hazards and Hazardous Materials would be significant unless mitigated. Therefore, Mitigation Measure 8.1 is required of the project.

Impacts to Noises would be significant unless mitigated. Therefore, Mitigation Measure 12.1 is required of the project.

Impacts to Public Services would be significant unless mitigated. Therefore, Mitigation Measures 14.1 through 14.8 are required of the project.

Impacts to Transportation & Traffic would be significant unless mitigated. Therefore, Mitigation Measures 16.1 through 16.15 are required of the project.

The implementation of the Mitigation Measures identified above would result in less than significant impacts to Cultural Resources, Geology & Soils, Hazards & Hazardous Materials, Noise, Public Services, and Transportation & Traffic. Therefore, the project will not degrade the quality of the environment and no habitat, wildlife populations, and plant and animal communities would be impacted. All environmental topics are either considered to have "No Impact," "Less Than Significant Impact," or "Less than Significant Impacts With Mitigation Incorporated."

**CUMULATIVELY CONSIDERABLE IMPACTS:**

Based on the analysis in this Initial Study Checklist, the project is consistent with the County's General Plan land use projections. The land use and density has been considered in the overall County growth. The analysis demonstrated that the project is in compliance with all applicable state and local regulations. In addition, the project would not produce impacts that considered with the effects of other past, present, and probable future projects, would be cumulatively considerable because potential adverse environmental impacts were determined to be less than significant with the implementation of mitigation measures identified in the checklist.

**SUBSTANTIAL ADVERSE EFFECTS ON HUMAN BEINGS:**

As discussed in Sections 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, and 17 of this Initial Study Checklist, the project would not expose persons to substantial adverse impacts related to aesthetics, agricultural and forest resources, air quality, biological resources, cultural resources,

geology and soils, greenhouse gas emissions, hazards or hazardous materials, hydrology and water quality, land use and planning, mineral resources, noise, population and housing, public services, recreation, transportation and traffic, or public utilities and services. The effects to these environmental issues were identified to have no impact, a less than significant impact, or a less than significant impact with mitigation incorporated. Therefore, the project does not have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly.

**SOURCE: Sections 1 through 17 of this Initial Study.**

## REFERENCES

California Air Resources Board; Amador County Air District Rules and Regulations; California Department of Conservation; California Geologic Survey: Alquist-Priolo Earthquake Fault Zones; California Department of Conservation, Division of Farmland Mapping and Monitoring; State Department of Mines & Geology; Amador County General Plan; Amador County General Plan Update Biological and Cultural Working Papers; Amador County GIS; Amador County Zoning Map; Amador County Multi-Hazard Mitigation Plan; Amador County Municipal Codes; Amador County Soil Survey; National Cooperative Soil Survey; Amador County General Plan Draft EIR (October, 2014); and Commenting Department and Agencies. All documents cited herein are available in the public domain, and are hereby incorporated by reference.

**NOTE:** Authority cited: Sections 21083, 21083.05, Public Resources Code. Reference: Section 65088.4, Gov. Code; Sections 21080, 21083.05, 21095, Pub. Resources Code; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal. Appl. 4<sup>th</sup> 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal. App. 4<sup>th</sup> at 1109; *San Franciscans Upholding the Downtown Plan v. city and County of San Francisco* (2002) 102 Cal. App. 4<sup>th</sup> 656.



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY  
**PLANNING DEPARTMENT**


PHONE: (209) 223-6380  
 FAX: (209) 257-5002  
 WEBSITE: www.amadorgov.org  
 E-MAIL: planning@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

**APPLICATION REFERRAL**

**TO:** Mike Israel, Environmental Health Department  
 Jered Reinking, Department of Transportation and Public Works  
 Rich Millar, Building Department  
 David Bellerive, Amador Fire Protection District  
 Jim McHargue, Waste Management/Air District  
 George Allen, Surveying & Engineering  
 Greg Gillott, County Counsel  
 Martin Ryan, Sheriff  
 Carla Meyer, Amador Transit  
 Carl Baker, Caltrans District 10  
 Darin McFarlin, Cal Fire  
 John Gedney, Amador County Transportation Commission  
 California Department of Fish & Wildlife, Region 2

**DATE:** May 5, 2015

**FROM:**  Chuck Beatty, Planning Department

**PROJECT:** Request by Jay Wilderotter for a Use Permit (UP-15;5-1) to construct a Bed & Breakfast Inn at Wilderotter Vineyards

**LOCATION:** 19890 Shenandoah School Road, Plymouth, CA (approximately ¼ mile east of the intersection with Shenandoah Road (APN 008-030-033)).

**REVIEW:** As part of the review process, this project is being sent to County staff and State and local agencies for their review and comment. The **Amador County Technical Advisory Committee (TAC)** will meet on **Monday, May 18, 2015** at 10:00 a.m. in Conference Room "A" at the County Administration Building, 810 Court Street, Jackson, CA, to review the application for completeness and prepare recommendations for the Amador County Planning Commission.

cc: Jay Wilderotter, applicant

May 1, 2015

Amador County  
810 Court Street  
Jackson, CA 95642

To: Technical Advisory Committee & Amador County Planning Commission

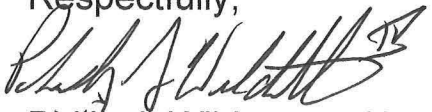
Re: WV Estate LLC – Grand Reserve Inn  
Purpose and Need For A Use Permit

I own and operate a vineyard at 19890 Shenandoah School Road in Plymouth, CA. I would like to build a Bed & Breakfast Inn, and invite guests to stay and experience the vineyard.

The zoning code requires a Use Permit to allow the operation of the Bed & Breakfast.

The Inn will be a house that includes 5 guest rooms and 1 caretaker's room, which is in conformance with the zoning restrictions for a Bed & Breakfast use.

Respectfully,



Philip J. Wilderotter (Jay)

## WRITTEN PROJECT DESCRIPTION

Site Size:	<b>40 acres</b>
Number of Floors:	<b>1</b>
Amount of Off-Street Parking Provided:	<b>6</b>
Source of Water:	<b>Well</b>
Method of Sewage Disposal:	<b>Septic/leach</b>
Attached Plans:	<b>Yes</b>

Proposed Scheduling of Project Construction: **Start in Summer 2015, 9 months construction**

If project to be developed in phases, describe anticipated incremental development: **n/a**

Associated Projects: **none**

Subdivision/Land Division Projects: **none**

Residential Projects: Number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected:

- **House with 5 bedrooms & 1 caretaker's bedroom**

Commercial Projects: Type of business, number of employees.

**For Bed & Breakfast Operation: 5 employees**

Industrial Projects:	<b>n/a</b>
Institutional Projects:	<b>n/a</b>

If the project involves a variance, conditional use permit, or rezoning application, stat this and indicate clearly why the application is required: **Project requires a Use Permit for the operation of a Bed & Breakfast - WV Estate LLC - Grand Reserve Inn**

## ENVIRONMENTAL SETTING

**Describe the project site as it exists before the project:**

The property is a 40 acre parcel with a vineyard & single family house.

**Describe surrounding properties:**

Adjacent vineyards, agricultural properties, and single family houses.

**Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc.**

None known.



# PLANNING DEPARTMENT LAND USE AGENCY

Page 46 of 58  
County Administration Center  
810 Court Street • Jackson, CA 95642-2132  
Telephone: (209) 223-6380  
Website: www.amadorgov.org  
E-mail: planning @amadorgov.org

## APPLICATION PROCEDURE FOR USE PERMIT

A Public Hearing before the Planning Commission will be scheduled after the following information has been completed and submitted to the Planning Department Office:

X 1. Complete the following:  
Name of Applicant Philip J. Wilderotter (Jay)  
Mailing Address P.O. Box 1000  
Plymouth, CA 95669

Phone Number \_\_\_\_\_

Assessor Parcel Number 008-030-033

Use Permit Applied For:

- \_\_\_\_\_ Private Academic School
- \_\_\_\_\_ Private Nonprofit Recreational Facility
- \_\_\_\_\_ Public Building and Use(s)
- \_\_\_\_\_ Airport, Heliport
- \_\_\_\_\_ Cemetery
- \_\_\_\_\_ Radio, Television Transmission Tower
- \_\_\_\_\_ Club, Lodge, Fraternal Organization
- \_\_\_\_\_ Dump, Garbage Disposal Site
- \_\_\_\_\_ Church

X OTHER Bed & Breakfast Inn

X 2. Attach a letter explaining the purpose and need for the Use Permit.

X 3. Attach a copy of the deed of the property (can be obtained from the County Recorder's Office).

N/A 4. If Applicant is not the property owner, a consent letter must be attached.

X 5. Assessor Plat Map (can be obtained from the County Surveyor's Office).

X 6. Plot Plan (no larger than 11" X 17") of parcel showing location of request in relation to property lines, road easements, other structures, etc. (see Plot Plan Guidelines). Larger map(s) or plans may be submitted if a photo reduction is provided for notices, Staff Reports, etc. The need is for easy, mass reproduction.

X 7. Planning Department Filing Fee: \$ \_\_\_\_\_

X Environmental Health Review Fee: \$ \_\_\_\_\_

X Public Works Agency Review Fee: \$ \_\_\_\_\_

X 8. Complete an Environmental Information Form.

X 9. Sign Indemnification Form.

**ENVIRONMENTAL INFORMATION FORM**

(To be completed by applicant; use additional sheets as necessary.)  
Attach plans, diagrams, etc. as appropriate.

**GENERAL INFORMATION**

Project Name: WV Estate LLC - Grand Reserve Inn

Date Filed: 5/1/15 File No. \_\_\_\_\_

Applicant/ Developer Jay Wilderotter Landowner same as owner

Address 19890 Shenandoah School Rd Address \_\_\_\_\_  
Plymouth, CA 95669

Phone No. \_\_\_\_\_ Phone No. \_\_\_\_\_

Assessor Parcel Number(s) 008-030-033

Existing Zoning District AG

Existing General Plan A-6

List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state, and federal agencies: Building Permit

**WRITTEN PROJECT DESCRIPTION** (Include the following information where applicable, as well as any other pertinent information to describe the proposed project):

1. Site Size
2. Square Footage of Existing/Proposed Structures
3. Number of Floors of Construction
4. Amount of Off-street Parking Provided (provide accurate detailed parking plan)
5. Source of Water
6. Method of Sewage Disposal
7. Attach Plans
8. Proposed Scheduling of Project Construction
9. If project to be developed in phases, describe anticipated incremental development.
10. Associated Projects
11. Subdivision/Land Division Projects: Tentative map will be sufficient unless you feel additional information is needed or the County requests further details.
12. Residential Projects: Include the number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected.
13. Commercial Projects: Indicate the type of business, number of employees, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities.
14. Industrial Projects: Indicate type, estimated employment per shift, and loading facilities.
15. Institutional Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project.
16. If the project involves a variance, conditional use permit, or rezoning application, state this and indicate clearly why the application is required.

**ADDITIONAL INFORMATION** Are the following items applicable to the project or its effects? Discuss below all items checked "yes" (attach additional sheets as necessary).

**YES NO**

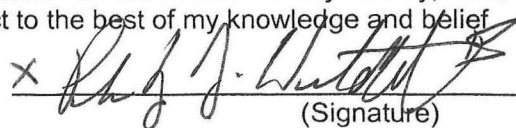
- 17. Change in existing features or any lakes or hills, or substantial alteration of ground contours.
- 18. Change in scenic views or vistas from existing residential areas, public lands, or roads.
- 19. Change in pattern, scale, or character of general area of project.
- 20. Significant amounts of solid waste or litter.
- 21. Change in dust, ash, smoke, fumes, or odors in the vicinity.
- 22. Change in lake, stream, or ground water quality or quantity, or alteration of existing drainage patterns.
- 23. Substantial change in existing noise or vibration levels in the vicinity.
- 24. Site on filled land or has slopes of 10 percent or more.
- 25. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives.
- 26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).
- 27. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.).
- 28. Does this project have a relationship to a larger project or series of projects?

**ENVIRONMENTAL SETTING**

- 29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site (cannot be returned).
- 30. Describe the surrounding properties, including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity (cannot be returned).
- 31. Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc. Attach photographs of any of these known features (cannot be returned).

Certification: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief

Date 5/1/15

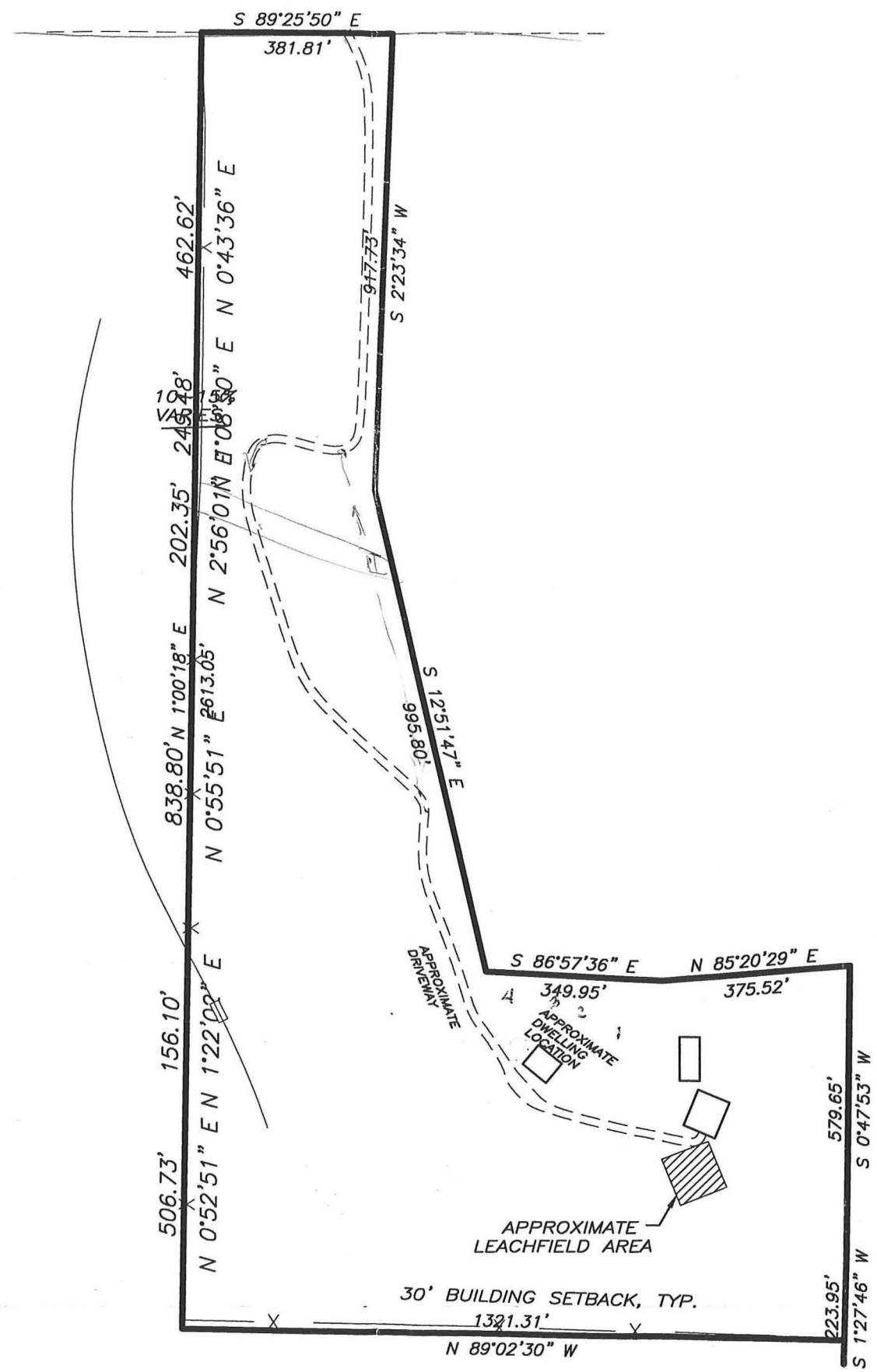
x   
(Signature)

For Philip J. Wilderotter





1" = 20'



**OWNER:**  
 Jay Wilderotter  
 P.O. Box 309  
 Plymouth, CA 95669

APN: 008-030-033

MAP REFERENCE: 44-M-15  
 SITUS ADDRESS: 19890 Shenandoah School Road

CONTRACTOR: N/A

Building Setbacks:  
 Front: 30'  
 Rear: 30'  
 Side: 30'

Approximate Elevation: 1270'±

**NOTES:**

1. This plot plan has been prepared in support of an application for septic system soil profile trenching with the County of Amador Environmental Health Department. No other use is intended or authorized by Cal State Engineering, Inc.
2. The accuracy of the information shown hereon is deemed to be suitable for the intended use only. No representation of its suitability for other uses is expressed or implied.
3. The information shown hereon has been assembled either from record data or from observations made by Cal State Engineering, Inc. personnel, or both. As such, this information must not be construed as a survey and must not be relied upon as a survey of the subject property. All information shown hereon is subject to verification and change.

WILDEROTTER - 1989 SHENANDOAH SCHOOL ROAD - PLYMOUTH - 8/2003

**CAL STATE ENGINEERING**  
 INCORPORATED

427 BROADWAY  
 JACKSON, CA 95642

Phone: 209.223.1441  
 Fax: 209.223.5044

PREPARED FOR:

Jay Wilderotter  
 P.O. Box 309  
 Plymouth, CA 95669

PLOT PLAN For SEWAGE DISPOSAL SYSTEM PERMIT  
 AMADOR COUNTY APN: 008-030-033  
 COMPLIANCE CERT. PARCEL, POR. OF SEC. 1  
 19890 SHENANDOAH SCHOOL ROAD

JOB NO.:	150037	DATE:	03-25-15
DRAWN:	DSS	SCALE:	AS SHOWN
		SHEET	1

GENERAL NOTES

- INASMUCH AS THE CONSTRUCTION OF A NEW BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE FEATURES THE OWNER AGREES THAT EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES UNDER THIS AGREEMENT.
- ALL IDEAS, DESIGN ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THESE CONTRACT DOCUMENTS ARE OWNED BY THE DESIGNER AND HERE CREATED, EVOLVED AND DEVELOPED FOR USE OF AND IN CONNECTION WITH THE PROJECT DEPICTED HEREIN. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS AND PLANS SHALL BE USED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE OTHER THAN THAT PREVIOUSLY STATED, WITHOUT THE EXPRESS WRITTEN PERMISSION OF DESIGN PROFESSIONAL.
- THE DESIGN PROFESSIONAL WILL NOT BE RESPONSIBLE FOR ANY CHANGES IN, OR DIVERGENCE FROM THE PLANS, SPECIFICATIONS OR DETAILS UNLESS SUCH ARE SPECIFICALLY ALLOWED IN WRITING BY THE DESIGN PROFESSIONAL.
- IF THE DESIGN PROFESSIONAL IS NOT CONTRACTED WITH TO PROVIDE REVIEW OR OBSERVATION OF THE CONTRACTOR'S WORK OR PERFORMANCE, THE OWNER WILL HOLD HARMLESS, INDEMNIFY, AND DEFEND THE DESIGN PROFESSIONAL AGAINST ANY AND ALL CLAIMS WHICH HAVE ARISEN FROM THE CONTRACTOR'S PERFORMANCE OR THE FAILURE OF THE WORK TO CONFORM TO THE DESIGN INTENT AND/OR THE CONTRACT DOCUMENTS.
- ALL SIZES AND DIMENSIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND LINE DRAWINGS. ANY DISCREPANCY IN DIMENSIONS SHOULD BE CALLED TO THE ATTENTION OF THE DESIGN PROFESSIONAL PROMPTLY AND PRIOR TO CONSTRUCTION OF WORK. SCALED DIMENSIONS ARE FROM FINISHED SURFACE TO FINISHED SURFACE. VERIFY IS A DIMENSION THAT THE DESIGN PROFESSIONAL & CONTRACTOR WILL RESOLVE IN THE FIELD. SHOWN CALLS OUT THE DIMENSION IN A STRING WHICH HAS SOME FLEXIBILITY. NOT TO SCALE MEANS NOT TO SCALE.
- THE DESIGN PROFESSIONAL DOES NOT ACCEPT RESPONSIBILITY FOR ANY CHANGES MADE NECESSARY BY BUILDING CODES, LAWS, OR ORDINANCES. ALL CONTRACTORS, SUBCONTRACTORS, FABRICATORS, AND OTHER PERSONS UTILIZING THESE PLANS ARE ADVISED TO VERIFY ANY AND ALL ASPECTS OF THESE PLANS AND ANY INCONSISTENCIES BETWEEN THEM AND ACTUAL CONDITIONS OR REQUIREMENTS OF EQUIPMENT, MATERIALS, LOCAL BUILDING CODES OR ORDINANCES. ANY SUCH INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL IN A TIMELY FASHION SO THAT THEY MAY BE RESOLVED OR CLARIFIED.
- ALL WORK SHALL CONFORM TO THE FOLLOWING BUILDING CODES AS ADOPTED BY THE LOCAL JURISDICTION INCLUDING THE LOCAL JURISDICTIONS AMENDMENTS:
  - 2013 CALIFORNIA RESIDENTIAL CODE
  - 2013 CALIFORNIA ELECTRICAL CODE
  - 2013 CALIFORNIA MECHANICAL CODE
  - 2013 CALIFORNIA PLUMBING CODE
  - 2013 CALIFORNIA ENERGY CODE
  - 2013 GREEN BUILDING CODE
- STRUCTURAL ENGINEERING, FIRE PROTECTION, ELECTRICAL, PLUMBING, AND MECHANICAL ENGINEERING OR DESIGN IS NOT THE RESPONSIBILITY OF THE DESIGN PROFESSIONAL. DESIGN/BUILD PORTIONS OF THE WORK (MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION SYSTEMS) ARE BY CONTRACTOR, WHO IS THE DESIGNER OF RECORD. CONTRACTOR SHALL PROVIDE DRAWINGS AS REQUIRED FOR PERMIT APPLICATION FOR THEIR PORTION OF THE WORK FOR THE DESIGN PROFESSIONAL'S WORK IN COORDINATION AND FOR THE OWNER'S RECORDS. ALL INDICATIONS OF OR NOTATIONS OF ANY SUCH SYSTEMS OR PORTIONS THEREOF ON THE DESIGN PROFESSIONAL'S DRAWINGS ARE PRIMARILY TO INDICATE THE GENERAL ARRANGEMENT FOR THE CONVENIENCE OF THOSE CONCERNED.
  - SUB CONTRACTORS SHALL COORDINATE WITH EACH OTHER.
  - THE WORK / PROJECT AREA IS TO BE KEPT CLEAN ON A REGULAR BASIS.
  - USE OF THESE DRAWINGS CONSTITUTES THEIR ACCEPTANCE.
  - DEFERRED SUBMITTALS INCLUDE (BUT MAY NOT BE LIMITED TO):
    - FIRE SPRINKLER SYSTEM
    - SOLAR PANELS
    - MECHANICAL DESIGN
    - ELECTRICAL DESIGN
    - PLUMBING DESIGN

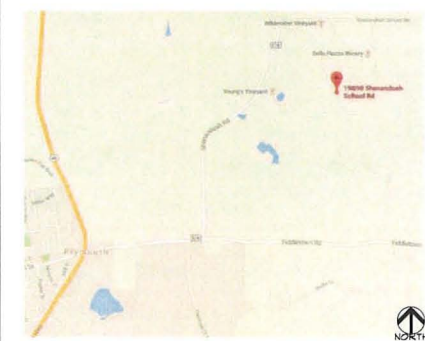
THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE OWNER & DESIGN PROFESSIONAL FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF REVIEW AND COORDINATION, A LETTER SHALL BE SUBMITTED TO THE CITY STATING THAT REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND THAT PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE ACCEPTABLE.

CONSTRUCTION ACTIVITY SHALL CONFORM WITH APPROVED CONSTRUCTION MANAGEMENT PLAN. ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH APPLICABLE CITY REGULATIONS AND OPERATING PROCEDURES AS PART OF THE ISSUANCE OF ANY GRADING OR BUILDING PERMIT, INCLUDING DUST CONTROL MEASURES WHICH INCLUDE THE FOLLOWING:

- WASTE DISPOSAL SHALL BE PER CITY REQUIREMENTS.
- CONTRACTOR SHALL FOLLOW BEST PRACTICES FOR GREEN CONSTRUCTION.
- SWEEP DAILY WITH WATER SWEEPERS ALL PAVED ROADS, PARKING AREAS, AND STAGING AREAS AT CONSTRUCTION SITES.
- PUBLIC PROPERTY RIGHT OF WAY SHALL BE KEPT CLEAN AND FREE OF DIRT/DEBRIS GENERATED BY CONSTRUCTION ACTIVITY. STREETS DAILY WITH WATER SWEEPERS. IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- CONSTRUCTION NOISE SHALL BE LIMITED TO THE HOURS AND DAYS REQUIRED BY CITY, AND AS SPECIFIED IN CONSTRUCTION MANAGEMENT PLAN.
- PARKING SHALL BE LIMITED BY CITY REQUIREMENTS, AND AS SPECIFIED IN CONSTRUCTION MANAGEMENT PLAN.

PLANS SHOW GENERAL INFORMATION AND LOCATION OF MECHANICAL, ELECTRICAL AND PLUMBING COMPONENTS. MEET PLANS AND DETAILS TO BE PROVIDED BY MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTOR(S) TO THE CITY FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

VICINITY MAP (PROVIDED BY GOOGLE) N.T.S.



ABBREVIATIONS

ACQUS	ACCOUSTICAL	HT	HEIGHT
ADDL	ADDITIONAL	HK	HOT WATER
ADJ	ADJUSTABLE OR ADJACENT	INSUL	INSULATION
AP.F.	ABOVE FLOOR FINISH	JT	JOINT
ALUM	ALUMINUM	LAM	LAMINATE
ANOD	ANODIZED	L.O.	LINE OF
ASSY	ASSEMBLY	MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MFL	METAL
BLK'G	BLOCKING	MFR	MANUFACTURER
B.O.	BOTTOM OF	MIN	MINIMUM
CAB	CABINET	MTD	MOUNTED
CLS	GELING	NEW	NEW
CL	CENTERLINE	N/A	NOT APPLICABLE
CLR	CLEAR	N/C	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	N.T.S	NOT TO SCALE
C.O.	CLEANOUT	O.C.	ON CENTER
COL	COLUMN	OPNS	OPENING
CONC	CONCRETE	(P)	PROPOSED
CPT	CARPET	P.G.	PAINT GRADE
DET	DETAIL	P-LAM	PLASTIC LAMINATE
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	P.L.	PROPERTY LINE
D.S	DOWNSPOUTS	POL	POLISHED
DWG	DRAWING	PT.	PRESSURE TREATED
EA	EACH	PTD	PAINTED
ELEC	ELECTRIC(AL)	PTN	PARTITION
ELEV	ELEVATOR	R	RADIUS
ENCL	ENCLOSURE	RD	ROOF DRAIN
EQ	EQUAL	REQD	REQUIRED
(E)	EXISTING	R.O.	ROUGH OPENING
EXH	EXHAUST	RM	ROOM
EXT	EXTERIOR	S.A.F	SELF-ADHERED FLASHING
FDN	FOUNDATION	SCHED	SCHEDULE
FIN	FINISH	S.G.	STAIN GRADE
F.E.G	FIRE EXTINGUISHER	S.C.D.	SEE CIVIL DRAWINGS
F.D	FLOOR DRAIN	S.S.D	SEE STRUCTURAL DRAWINGS
F.L.R	FLOOR	S.E.D	SEE ELECTRICAL DRAWINGS
FLUOR	FLUORESCENT	S.M.D.	SEE MECHANICAL DRAWINGS
F.O	FACE OF	S.P.D.	SEE PLUMBING DRAWINGS
F.R	FIRE RATED	SM	SIMILAR
FRMS	FRAMING	SPEC	SPECIFICATIONS
FTNRS	FASTENERS	STL	STEEL
FTG	FOOTING	TEMP	TEMPERED OR TEMPORARY
GA	GAUGE	T&G	TONGUE AND GROOVE
GALV	GALVANIZED	T.O.	TOP OF
GRND	GROUN	T.S.	TUBE STEEL
G.S.M	GALVANIZED SHEET METAL	TYP	TYPICAL
GYP	BD GYPSUM BOARD	U.O.N	UNLESS OTHERWISE NOTED
H.G.	HANDICAP	V.I.F	VERIFY IN FIELD
HDR	HEADER	W	WOOD
HDRR	HARDWARE	WRB	WATER RESISTANT BARRIER
HDND	HARDWOOD		

WILDEROTTER  
VINEYARD RESIDENCE  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CA 95669

PROJECT INFORMATION

PROJECT INFORMATION	19890 SHENANDOAH SCHOOL ROAD
ADDRESS:	PLYMOUTH, CA 95669
APN:	
ZONING DESIGNATION:	XX SINGLE FAMILY RESIDENCE - DETACHED
TYPE:	HOUSE
OCCUPANCY:	R-1
BUILDING TYPE:	TYPE V
STORIES:	1 STORES
OWNER:	WILDEROTTER

PROJECT DESCRIPTION  
- DEMOLITION OF (E) STRUCTURE  
- CONSTRUCTION OF NEW ONE STORY SINGLE FAMILY RESIDENCE

PROJECT INFORMATION (CONTINUED)

LOT AREA:	
FLOOR AREA:	HABITABLE
COURTYARDS, PATIOS, PORCHES:	
IMPERVIOUS AREA:	

PROJECT DIRECTORY

OWNER  
JAY & MARGARET WILDEROTTER

DESIGNER  
MARK BECKER INC.  
420 40TH STREET #1  
OAKLAND, CA  
mbecker@markbecker.com  
510-658-6684 EXT 13

STRUCTURAL ENGINEER  
FARHAD MANSHADI  
SANTA ANA, CA  
714-835-2800

CONTRACTOR  
XXXXX  
CONTACT: XXXXX  
XXXXX.com  
XXX-XXX-XXXX



DESIGN PLANNING  
420 40TH ST #1  
OAKLAND, CA  
94604  
510-658-6684

SHEET INDEX

ARCHITECTURAL	A0.00 COVER SHEET/PROJECT INFORMATION
A0.01	GREEN BUILDING CHECKLIST
T24	TITLE 24
CIVIL	C1.01 SURVEY
LANDSCAPE	L1.01 LANDSCAPE PLAN
L2.01	IRRIGATION PLAN
ARCHITECTURAL CONTINUED	AD1.01 (E)/DEMO SITE PLAN
A1.02	SITE PLAN
A2.01	FIRST FLOOR PLAN
A2.02	ROOF PLAN
A2.03	REFLECTED CEILING PLAN
A2.10	ENLARGED FLOOR PLANS
A2.11	ENLARGED FLOOR PLANS
A2.12	ENLARGED FLOOR PLANS
A2.13	ENLARGED FLOOR PLANS
A3.01	ELEVATIONS
A3.10	ENLARGED ELEVATIONS
A3.11	ENLARGED ELEVATIONS
A3.12	ENLARGED ELEVATIONS
A4.01	SECTIONS
A4.02	SECTIONS
A4.03	SECTIONS
A4.04	SECTIONS
A5.01	UTILITIES PLAN
A5.02	UTILITIES PLAN
A5.03	UTILITIES PLAN
A5.04	UTILITIES PLAN
A6.01	INTERIOR ELEVATIONS
A6.02	INTERIOR ELEVATIONS
A6.03	INTERIOR ELEVATIONS
A6.04	INTERIOR ELEVATIONS
A7.01	DETAILS
A7.02	DETAILS
A8.01	DOOR SCHEDULE
A9.01	WINDOW SCHEDULE
A10.01	FINISH AND FIXTURE SCHEDULE

STRUCTURAL

WILDEROTTER VINEYARD RESIDENCE  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

PROJECT INFORMATION

DATE	04/15/2015
SCALE	AS NOTED
DRAWN	DM
JOB	MB501
SHEET	

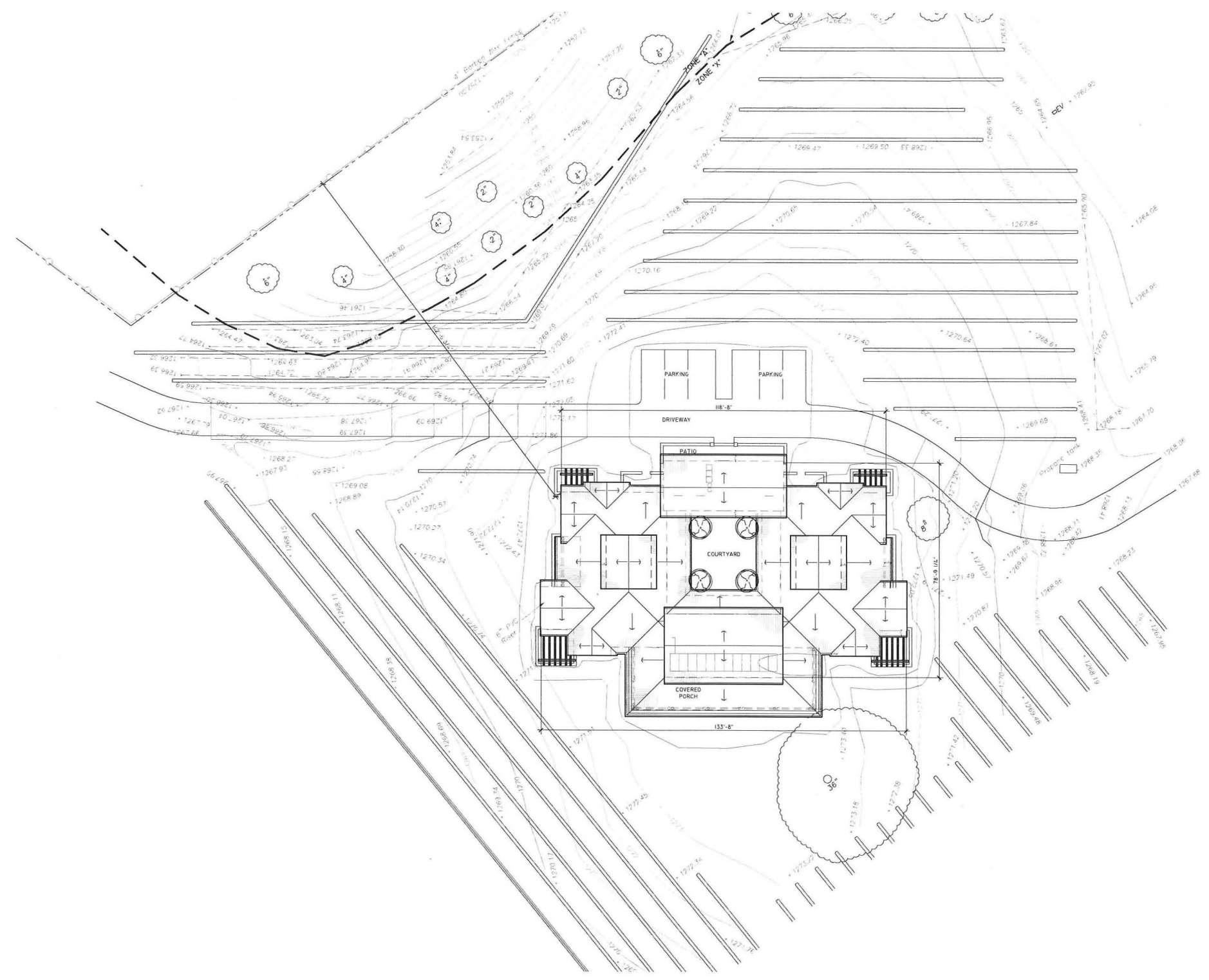
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SHEET SIZE 24X36  
NOT FOR CONSTRUCTION

ISSUE #	REVISION	DATE



DESIGN PLANNING  
420 40TH ST. #  
OAKLAND, CA  
94604  
510-656-6884



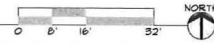
**WILDEROTTER VINEYARD RESIDENCE**  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

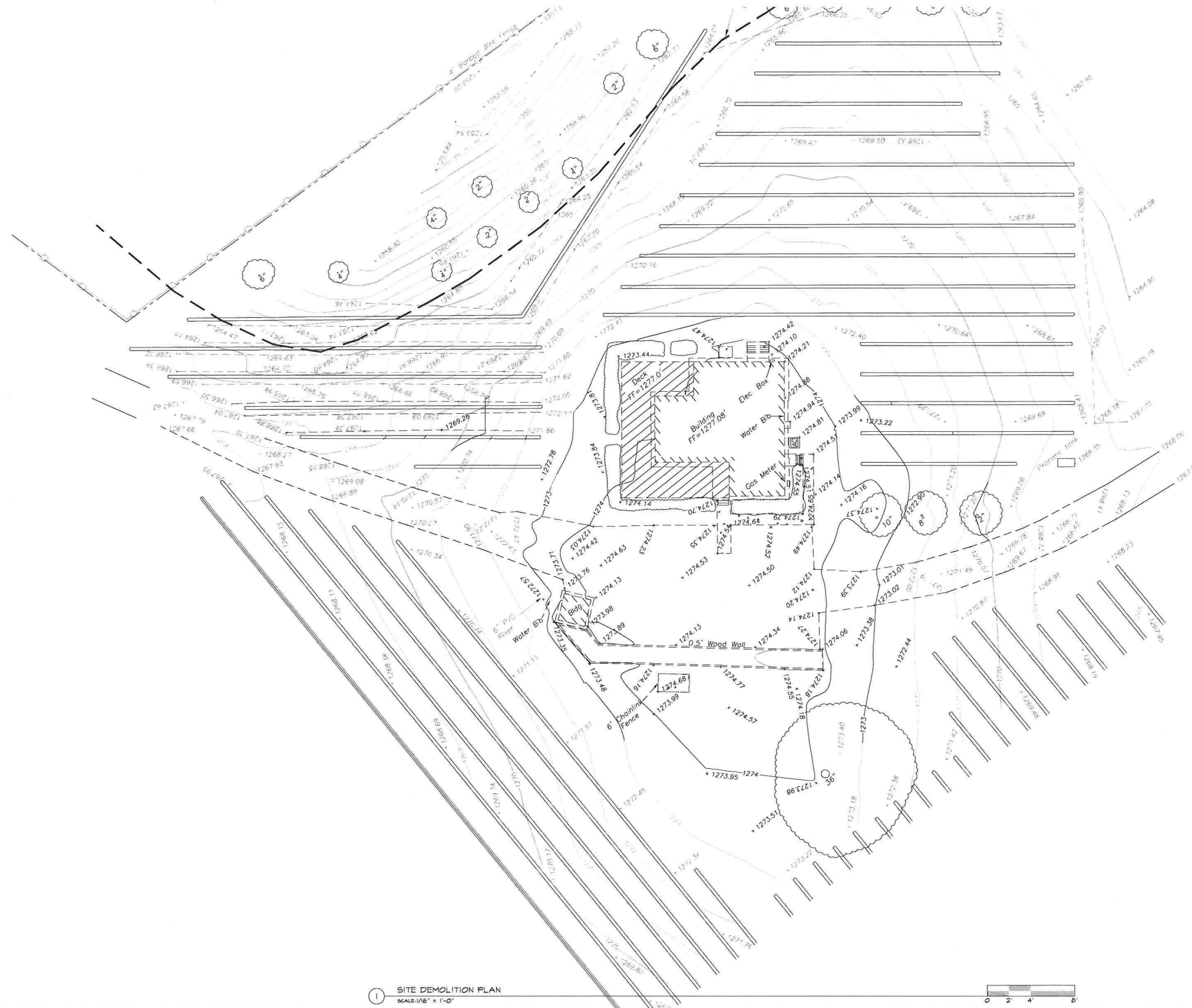
**LEGEND**

GRAVEL	
REMOVED/DEMOLISHED PROPERTY LINE	
VINE	

SITE PLAN
ROOF
DATE 04/03/2015
SCALE AS NOTED
DRAWN DMH
JOB MB501
SHEET
<b>A1.02</b>
SHEET SIZE 24X36
NOT FOR CONSTRUCTION

1 SITE PLAN - ROOF  
SCALE 1/8" = 1'-0"





ISSUE #	REVISION	DATE

mark  
becker

DESIGN PLANNING  
420 40TH ST., #1  
OAKLAND, CA  
94604  
510-658-6661

**WILDERROTTER VINEYARD RESIDENCE**  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

SITE PLAN  
DEMOLITION PLAN

DATE 04/19/2015  
SCALE AS NOTED  
DRAWN DIMM  
JOB MB501  
SHEET

ADI.01

SHEET SIZE 24X36  
NOT FOR CONSTRUCTION

① SITE DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"



ISSUE #	REVISION	DATE

**mark becker**  
 DESIGN PLANNING  
 420 40TH ST. #1  
 OAKLAND, CA 94601  
 510-658-6884

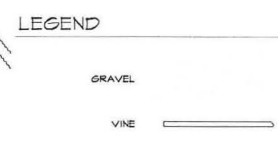
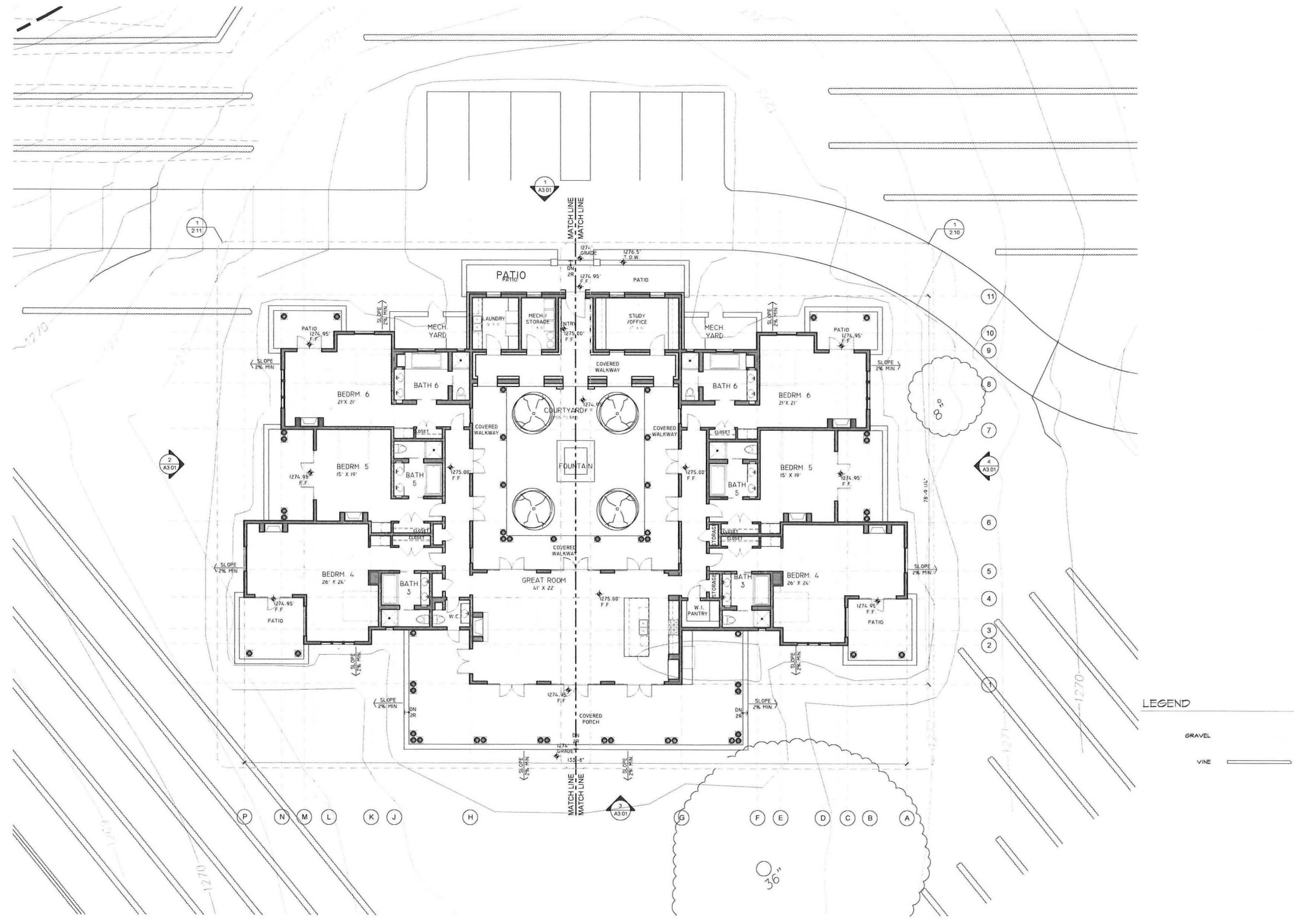
**WILDEROTTER VINEYARD RESIDENCE**  
 1990 SHENANDOAH SCHOOL ROAD  
 PLYMOUTH, CALIFORNIA

GROUND FLOOR PLAN

DATE	04/15/2015
SCALE	AS NOTED
DRAWN	DMH
JOB	MBS01
SHEET	

**A2.01**

SHEET SIZE 24X36  
 NOT FOR CONSTRUCTION



① GROUND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

ISSUE #	REVISION	DATE



DESIGN PLANNING  
420 40TH ST., #1  
OAKLAND, CA  
94604  
510-650-6889

**SHEET NOTES**

- 1 GLAY BARREL TILE ROOFING
- 2 HALF ROUND COPPER GUTTER
- 3 COPPER DOWN SPOUT (SEE ELEVATIONS)
- 4 DASHED LINE INDICATES WALL BELOW
- 5 WOOD TRELLIS

**LEGEND**

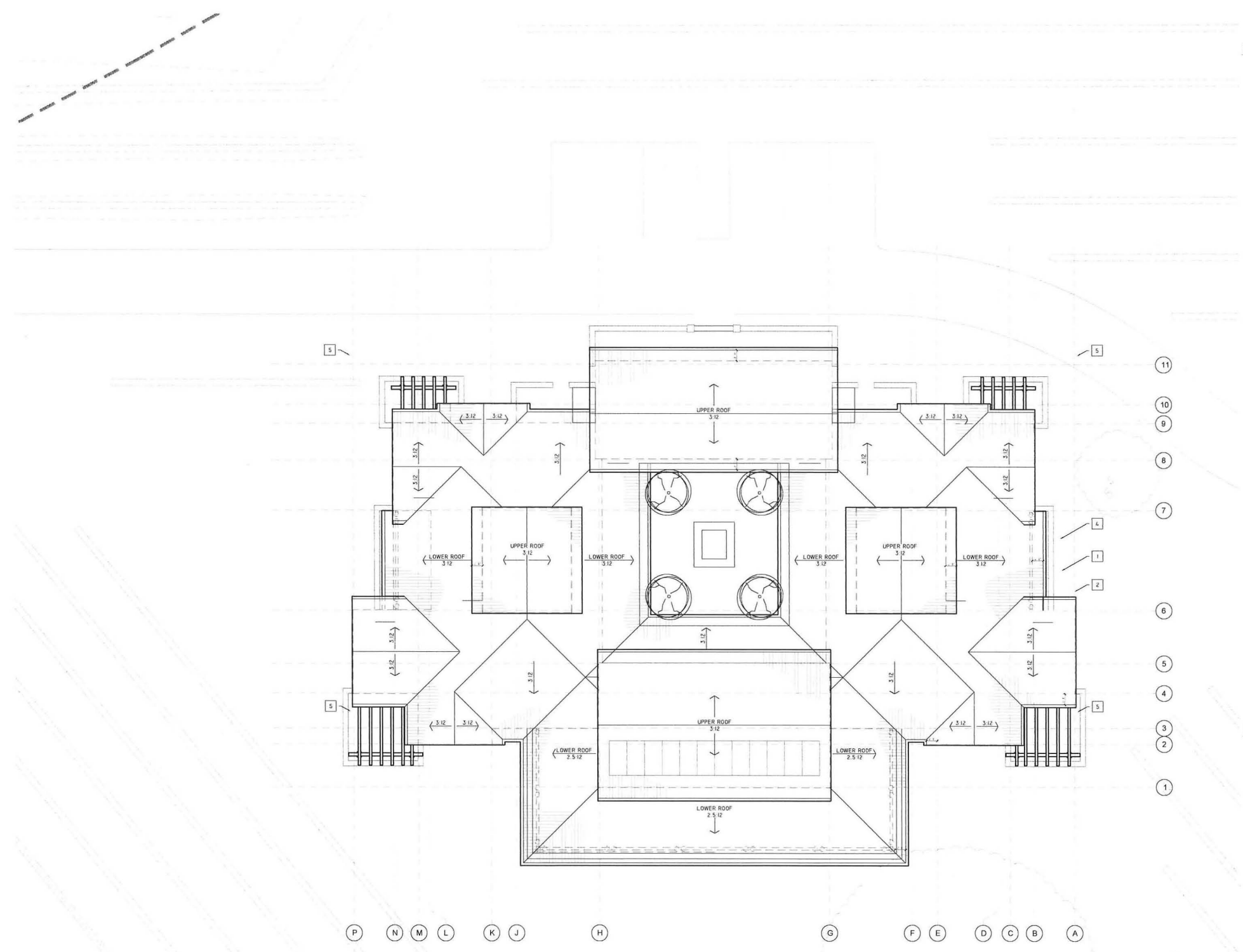
- GLAY BARREL TILE ROOFING
- DASHED LINE INDICATES OBJECT(S), WALLS, ETC. BELOW
- SOLAR PANELS

**WILDEROTTER VINEYARD RESIDENCE**  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

ROOF PLAN  
DATE 04/15/2015  
SCALE AS NOTED  
DRAWN DMH  
JOB MB1501  
SHEET

**A2.02**

SHEET SIZE 24X36  
NOT FOR CONSTRUCTION



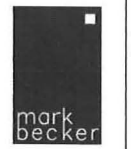
1 ROOF PLAN  
SCALE 1/8" = 1'-0"



GENERAL NOTES

1. SEE UTILITY PLANS FOR LIGHTS, AND OTHER ELEC. INFO

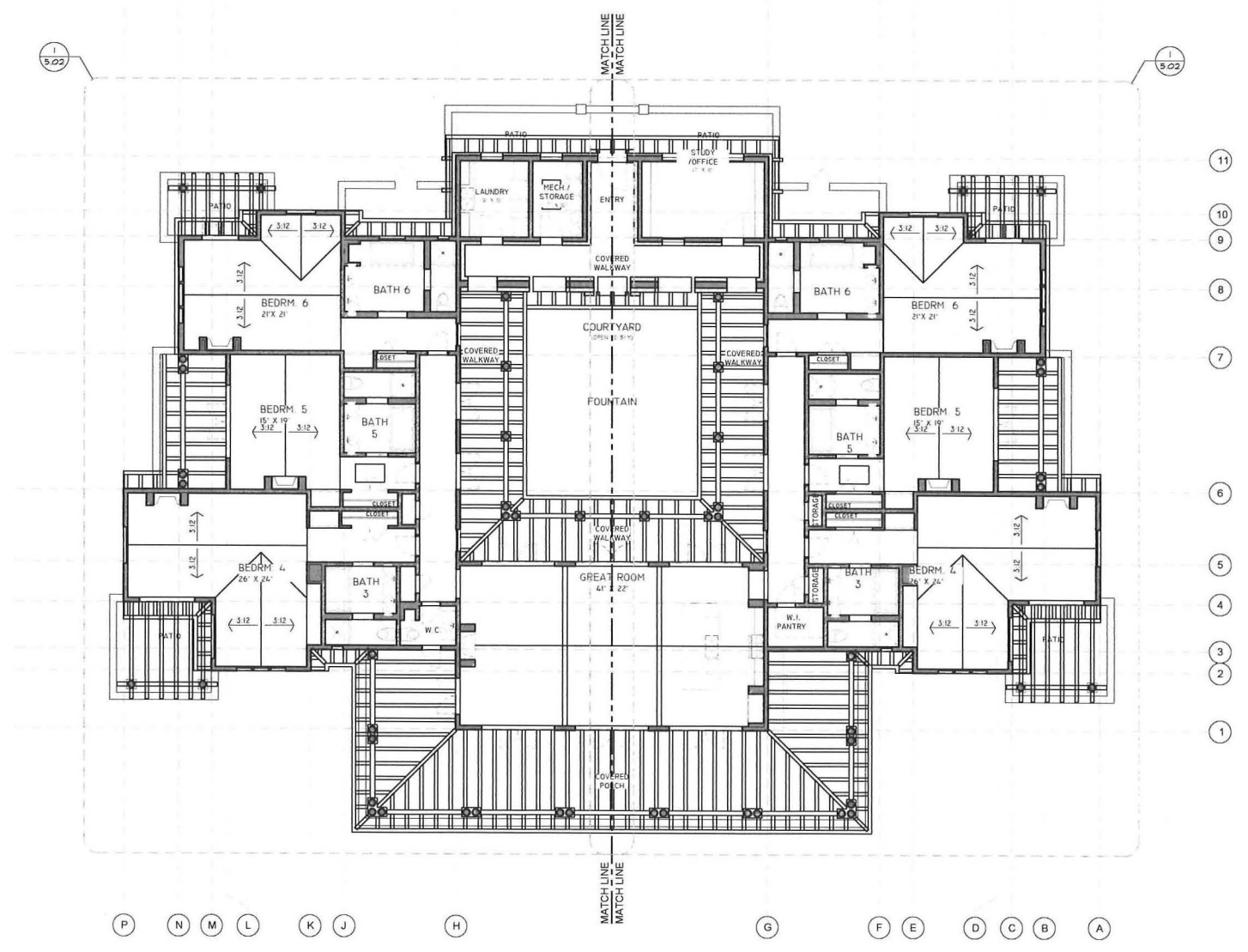
ISSUE #	REVISION	DATE



DESIGN PLANNING  
430 40TH ST. #1  
OAKLAND, CA  
94604  
510-650-6084

SHEET NOTES

- 1 6X10 EXPOSED RAFTER
- 2 DEG WD CORBEL
- 3 6X12 BEAM
- 4 DEG WD RAFTER TAILS
- 5 WD TRELLIS

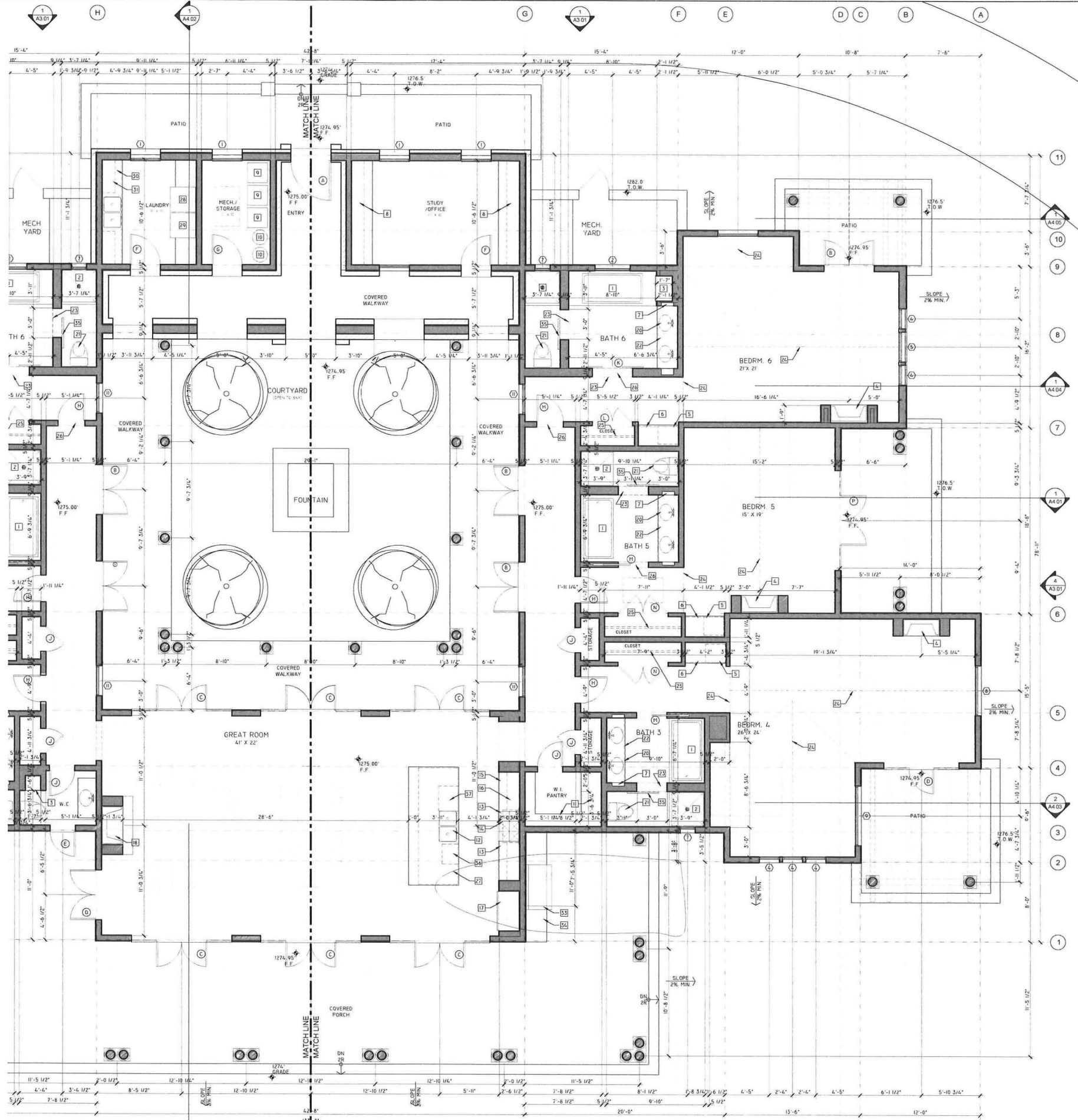


WILDEROTTER VINEYARD RESIDENCE  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

DATE	04/19/2015
SCALE	AS NOTED
DRAWN	DMH
JOB	MB501
SHEET	

A2.03

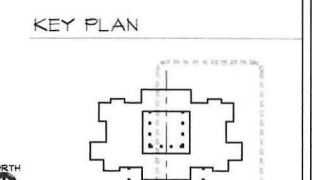
SHEET SIZE 24X36  
NOT FOR CONSTRUCTION



**NOTES**

- THIS IS A SCHEMATIC PLAN. EXACT LOCATIONS ARE TO BE DETERMINED BY ELECTRICAL CONTRACTOR/INTERIOR DESIGNER/OWNER OR AS CODE REQUIRES, UNLESS SPECIFIC LOCATION IS NOTED. SPECIFIC AND DETAILED PLANS FOR ELECTRICAL WORK TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- THE SHORTEST FLOOR PLAN IS FOR REFERENCE ONLY. NOT TO BE REFERRED TO FOR ANY STRUCTURAL CHANGES.
- MECHANICAL/ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT, ELECTRICAL APPLIANCES, ETC.
- ALL OUTLETS ABOVE COUNTER HEIGHT IN KITCHEN AND BATHROOMS TO BE GFI TYPE AS PER LOCAL CODES. IN ADDITION ALL OUTLETS IN NET AREAS, I.E. WITHIN 6'-0" OF SINK, TUB, ETC. TO BE GFI PER C.E.C. 210(B)(1).
- VERIFY WITH OWNER LOCATION/TYPING OF ALL FIXTURES, PANEL BOXES, OUTLET PLACEMENT, ETC. BY HOLDING AN ELECTRICAL WALKTHROUGH ON THE BUILDING SITE ONCE FRAMING IS COMPLETED.
- SMOKE DETECTORS TO BE HARD-WIRED WITH BACK-UP BATTERY, LOCATED PER APPLICABLE CODES.
- LANDSCAPING LIGHTS ARE NOT INDICATED ON PLANS. PROVIDE FOR LANDSCAPING LIGHTS TO BE SWITCHED AS SHOWN.
- COORDINATE ALL WORK WITH BUILDING CONTRACTOR.
- WHERE INDICATED POSITION OF RECESSED FIXTURES IS IMPOSSIBLE DUE TO JOIST OR OTHER THE ARCHITECT/DESIGNER SHALL BE CONTACTED TO RELOCATE.
- WHERE NO CHANGE IS INTENDED, (E) ELEC FIXTURES ETC. ARE NOT SHOWN.
- ALL 120-VOLT SINGLE PHASE IS AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN ANY ROOM OTHER THAN BATHROOMS, KITCHENS AND LAUNDRY SHALL BE PROTECTED BY A LISTED ARC-FAULT INTERRUPTER.
- PERMANENTLY INSTALLED LUMINAIRES LOCATED IN BATHROOMS, GARAGES AND LAUNDRY ROOMS/UTILITY ROOMS SHALL BE HIGH EFFICACY UNLESS THEY ARE CONTROLLED BY AN OCCUPANCY SENSOR.
- PERMANENTLY INSTALLED LUMINAIRES LOCATED OTHER THAN IN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS/UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES UNLESS THEY ARE CONTROLLED BY DIMMER SWITCHES, OCCUPANT SENSORS OR INSTALLED IN CLOSETS LESS THAN 10 SF PER G.C.C.

- LEGEND**
- (S) SWITCH
  - (S) 3 WAY SWITCH
  - (DO) DUPLEX OUTLET (12' AFF/UND) 110V
  - (DDO) DOUBLE DUPLEX OUTLET (12' AFF/UND) 110 V.
  - (220V) 220 V OUTLET
  - (FLO) FLOOR OUTLET
  - (DWS) DUPLEX OUTLET WITH ONE PORT SWITCH CONTROLLED
  - (DIM) DIMMER SWITCH
  - (GFI) GROUND FAULT INTERRUPTER
  - (W.P.) WEATHER PROOF
  - (CAB) IN CABINETRY
  - (TEL) TELEDATA/TELEPHONE
  - (—) ELEC. LINE
  - (EF) EXHAUST FAN
  - (EF/L) EXHAUST FAN w/ LIGHT
  - (SM) SURFACE MOUNT FIXTURE
  - (HL) HANGING LIGHT FIXTURE
  - (R) RECESSED "CAN" FIXTURE
  - (SM) SCIENCE - WALL MOUNT FIXTURE
  - (S.D.) SMOKE/CO2 COMBO DETECTOR HARDWIRED w/ BATT. BACK-UP
  - (EM) EXTERIOR MALL MOUNTED FIXTURE
  - (UC) UNDER CABINET LOW VOLTAGE TRACK CABLE OR RAIL LIGHT WITH FIXTURES AS SHOWN WITH FIXTURES AS SHOWN
  - (FL) FLOURESCENT LIGHT (SIZE OF FIXTURE VARIES)
  - (CF) CEILING FAN WITH LIGHT
  - (HB) HOSE BIB
  - (GC) GAS NUB CONNECTION



ISSUE #	REVISION	DATE

DESIGN PLANNING  
420 40TH ST. #1  
OAKLAND, CA  
94604  
510-658-6004

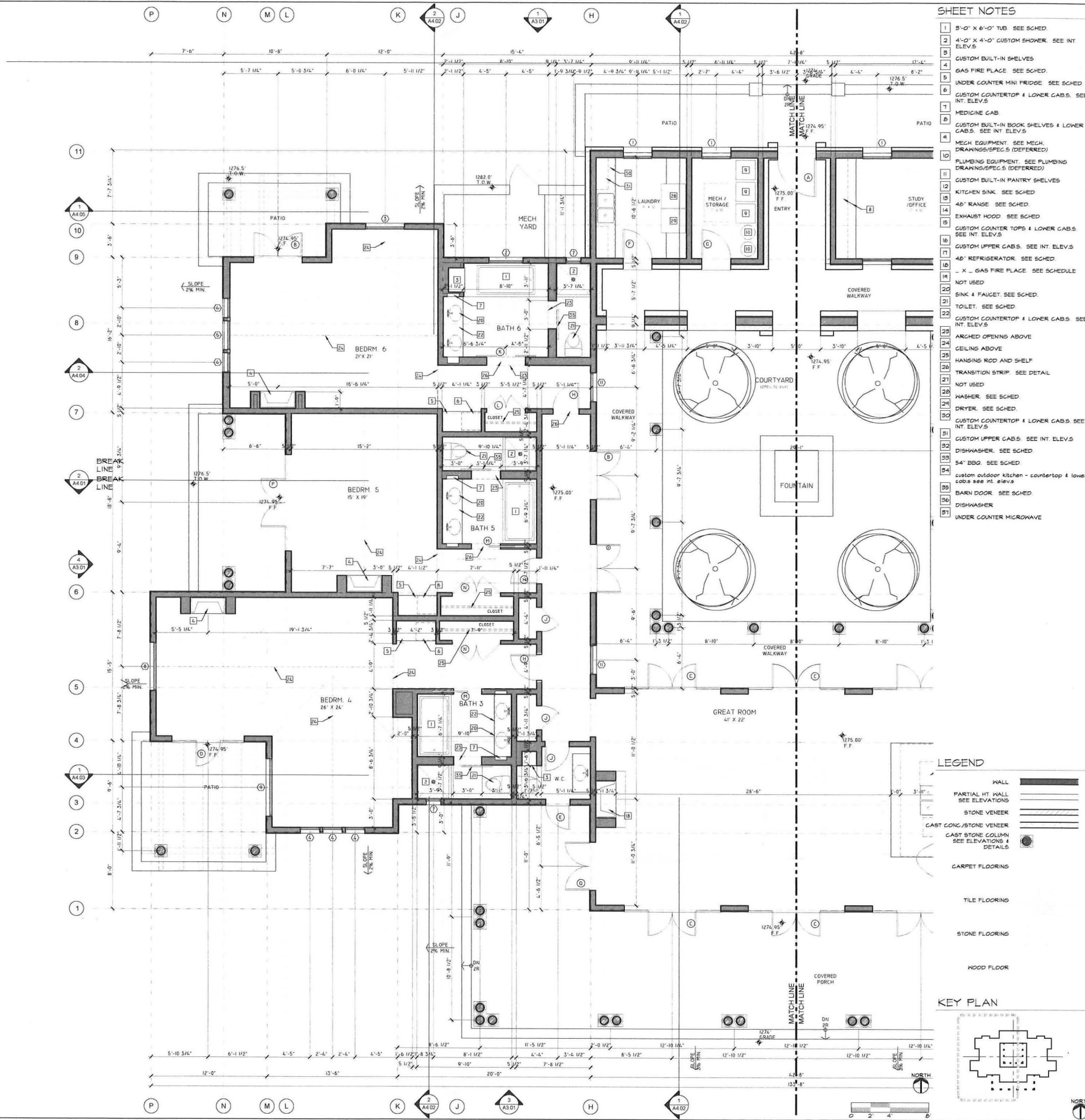
**WILDEROTTER VINEYARD RESIDENCE**  
1990 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

**A2.10**

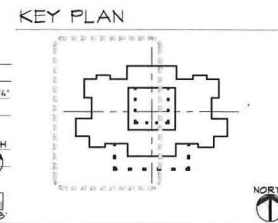
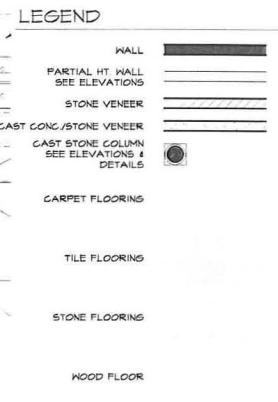
ENLARGED GROUND FLOOR PLAN  
DATE: 04/15/2015  
SCALE: 1/4" = 1'-0"  
DRAWN: DMH  
JOB: MB1501  
SHEET

SHEET SIZE 24x36  
NOT FOR CONSTRUCTION





- SHEET NOTES**
- 1 3'-0" X 6'-0" TUB SEE SCHED
  - 2 4'-0" X 4'-0" CUSTOM SHOWER SEE INT ELEV'S
  - 3 CUSTOM BUILT-IN SHELVES
  - 4 GAS FIRE PLACE SEE SCHED
  - 5 UNDER COUNTER MINI FRIDGE SEE SCHED
  - 6 CUSTOM COUNTERTOP & LOWER CAB.S. SEE INT. ELEV'S
  - 7 MEDICINE CAB
  - 8 CUSTOM BUILT-IN BOOK SHELVES & LOWER CAB.S. SEE INT. ELEV'S
  - 9 MECH EQUIPMENT SEE MECH. DRAINING/SPEC'S (DEFERRED)
  - 10 PLUMBING EQUIPMENT. SEE PLUMBING DRAINING/SPEC'S (DEFERRED)
  - 11 CUSTOM BUILT-IN PANTRY SHELVES
  - 12 KITCHEN SINK SEE SCHED
  - 13 48" RANGE SEE SCHED
  - 14 EXHAUST HOOD SEE SCHED
  - 15 CUSTOM COUNTERTOP & LOWER CAB.S. SEE INT. ELEV'S
  - 16 CUSTOM UPPER CAB.S. SEE INT. ELEV'S
  - 17 48" REFRIGERATOR SEE SCHED
  - 18 X - GAS FIRE PLACE SEE SCHEDULE
  - 19 NOT USED
  - 20 SINK & FAUCET SEE SCHED
  - 21 TOILET. SEE SCHED
  - 22 CUSTOM COUNTERTOP & LOWER CAB.S. SEE INT. ELEV'S
  - 23 ARCHED OPENING ABOVE CEILING ABOVE
  - 24 HANGING ROD AND SHELF
  - 25 TRANSITION STRIP. SEE DETAIL
  - 26 NOT USED
  - 27 WASHER SEE SCHED
  - 28 DRYER SEE SCHED
  - 29 CUSTOM COUNTERTOP & LOWER CAB.S. SEE INT. ELEV'S
  - 30 CUSTOM UPPER CAB.S. SEE INT. ELEV'S
  - 31 DISHWASHER SEE SCHED
  - 32 54" BBQ SEE SCHED
  - 33 custom outdoor kitchen - countertop & lower cab.s see int. elev's
  - 34 BARN DOOR SEE SCHED
  - 35 DISHWASHER
  - 36 UNDER COUNTER MICROWAVE



ISSUE #	REVISION	DATE

**mark becker**

DESIGN PLANNING  
420 40TH ST., #1  
OAKLAND, CA  
94604  
510-650-6884

**WILDERROTTER VINEYARD RESIDENCE**  
19890 SHENANDOAH SCHOOL ROAD  
PLYMOUTH, CALIFORNIA

ENLARGED  
GROUND FLOOR PLAN

DATE 04/15/2015  
SCALE 1/4" = 1'-0"  
DRAWN DMK  
JOB MB501  
SHEET

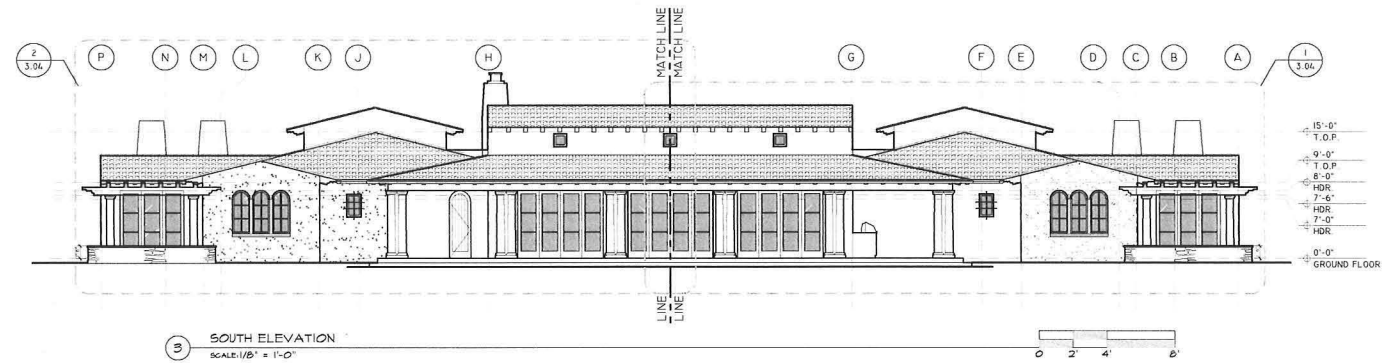
**A2.11**

SHEET SIZE 24X36  
NOT FOR CONSTRUCTION

1 GROUND FLOOR PLAN  
SCALE 1/4" = 1'-0"



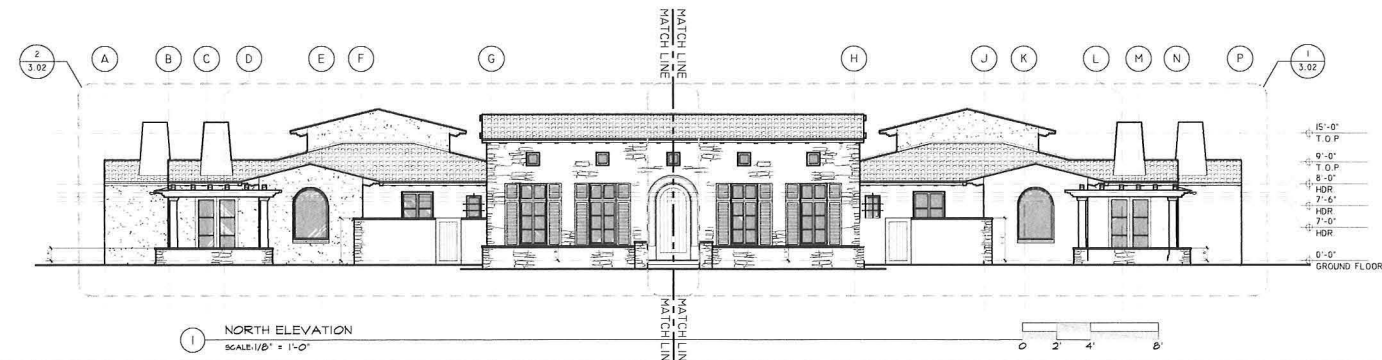
4 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



5 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

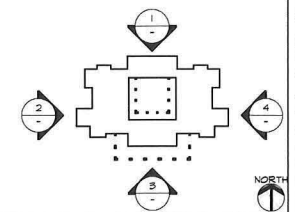


2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

KEY PLAN



ISSUE #	REVISION	DATE

**mark becker**  
 DESIGN PLANNING  
 420 40TH ST., #1  
 OAKLAND, CA  
 94608  
 510-658-6864

**WILDEROTTTER VINEYARD RESIDENCE**  
 18890 SHENANDOAH SCHOOL ROAD  
 PLYMOUTH, CALIFORNIA

ELEVATIONS  
 DATE 04/15/2015  
 SCALE AS NOTED  
 DRAWN DMM  
 JOB MB/201  
 SHEET  
**A3.01**  
 SHEET SIZE 24x36  
 NOT FOR CONSTRUCTION