

**STAFF REPORT TO: AMADOR COUNTY PLANNING COMMISSION
FOR MEETING OF: November 12, 2019**

ITEM 1 Public Hearing – Request for a Use Permit (UP-19;8-2) to exceed the height limit in the “RE,” Residential Estates zoning district. The height limit for structures in the “RE” zoning district is 30 feet. The applicant wishes to construct a 38 foot high detached garage with an accessory dwelling unit on the second floor. Pursuant to County Code §19.48.090, structures in “R” districts may exceed the specified height limit, subject to a Use Permit. (APN 015-530-026).

Applicant: Philip and Janet McCormick

Supervisorial District: 4

Location: 14550 Surrey Place, Pine Grove, CA 95665 (APN 015-530-026).

A. General Plan Designation: “AT”- Agricultural Transition

B. Present Zoning: “RE” – Residential Estates

C. Acreage Involved: 5.00 acres

D. Description: The applicant wishes to construct a 38 foot high detached 3 car garage with an accessory dwelling unit on the second floor. Building to 38 feet will match the detached garage and accessory dwelling unit with the original dwelling. The previous owners obtained a use permit (UP-90; 3-4) to construct the original dwelling to 38 feet in height.

E. TAC Review and Recommendation: This project was reviewed by the Technical Advisory Committee on September 4, 2019 for completeness, and again on September 25, 2019 to prepare conditions and a recommendation for the Planning Commission. TAC has no technical objection to the Planning Commission approving the Use Permit subject to the conditions and findings included in the staff report. TAC also recommends the adoption of a Notice of Exemption per Sections 15303(a) and 15303(e) of the CEQA Guidelines (New construction or Conversion of Small Structures).

G. Planning Commission Action: Following the public hearing, the first action of the Planning Commission should be the acceptance or rejection of a Notice of Exemption as the appropriate environmental document. Then, a decision to approve or deny the project can be made. If the Planning Commission moves to approve the project, the following findings are recommended in addition to the Conditions of Approval.

H. Recommended Findings

1. The project, as proposed, is consistent with the Amador County General Plan and the “RE” zoning district at this location.
2. The project is not subject to CEQA pursuant to Sections 15303(a) and 15303(e) of the CEQA Guidelines (New construction or Conversion of Small Structures). Therefore, a Notice of Exemption will be filed with the Amador County Recorder.
3. The proposed development meets the side yard setback requirements set forth in Municipal Code section 19.48.090(C).
4. The establishment, maintenance or operation of the use or building applied for will not be detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the county.

Proposed
USE PERMIT CONDITIONS OF APPROVAL

PERMITTEE: Philip and Janet McCormick

ADDRESS: 14550 Surrey Place, Pine Grove, CA 95665

PROJECT DESCRIPTION: Request for a Use Permit (UP-19;8-2) to exceed the height limit in the “RE,” Residential Estates zoning district. The height limit for structures in the “RE” zoning district is 30 feet. The applicant wishes to construct a 38 foot high detached garage with an accessory dwelling unit on the second floor. Pursuant to County Code §19.48.090, structures in “R” districts may exceed the specified height limit, subject to a Use Permit. (APN 015-530-026).

PROJECT LOCATION: 14550 Surrey Place, Pine Grove, CA 95665

ASSESSOR PARCEL NUMBER: 015-530-026-000

USE PERMIT NO.: UP-19; 8-2

PLANNING COMMISSION APPROVAL DATE: November 12, 2019



1. *This Use Permit shall not become valid, nor shall any uses commence until such time as the Permittee is either found to be in compliance with or has agreed, in writing, to a program of compliance acceptable to the County. At that time the permit shall be signed by the Planning Department and the use shall commence. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.*
2. *The issuance of this Use Permit is expressly conditioned upon the permittee's compliance with all the provisions contained herein and if any of the provisions contained herein are violated, this Use Permit may be subject to revocation proceedings as set forth in Amador County Code. THE PLANNING DEPARTMENT SHALL MONITOR THIS CONDITION.*
3. The permittee shall acquire a building permit for all necessary construction. Construction and location shall be substantially the same as shown on the project plans. THE BUILDING DEPARTMENT SHALL MONITOR THIS CONDITION.
4. The construction of the building shall not exceed 38 feet.
5. The side yard building setbacks shall be increased by one foot for each one foot over the height limit. Since the side yards are five feet and the requested height is eight feet above the 30-foot limit, the side yard setbacks shall now be 13 feet.

Permittee’s Signature

Date



Planning Commission Chair’s Signature

Date




Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Legend


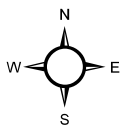

-  Amador Boundary
-  Assessor Parcels

Transportation

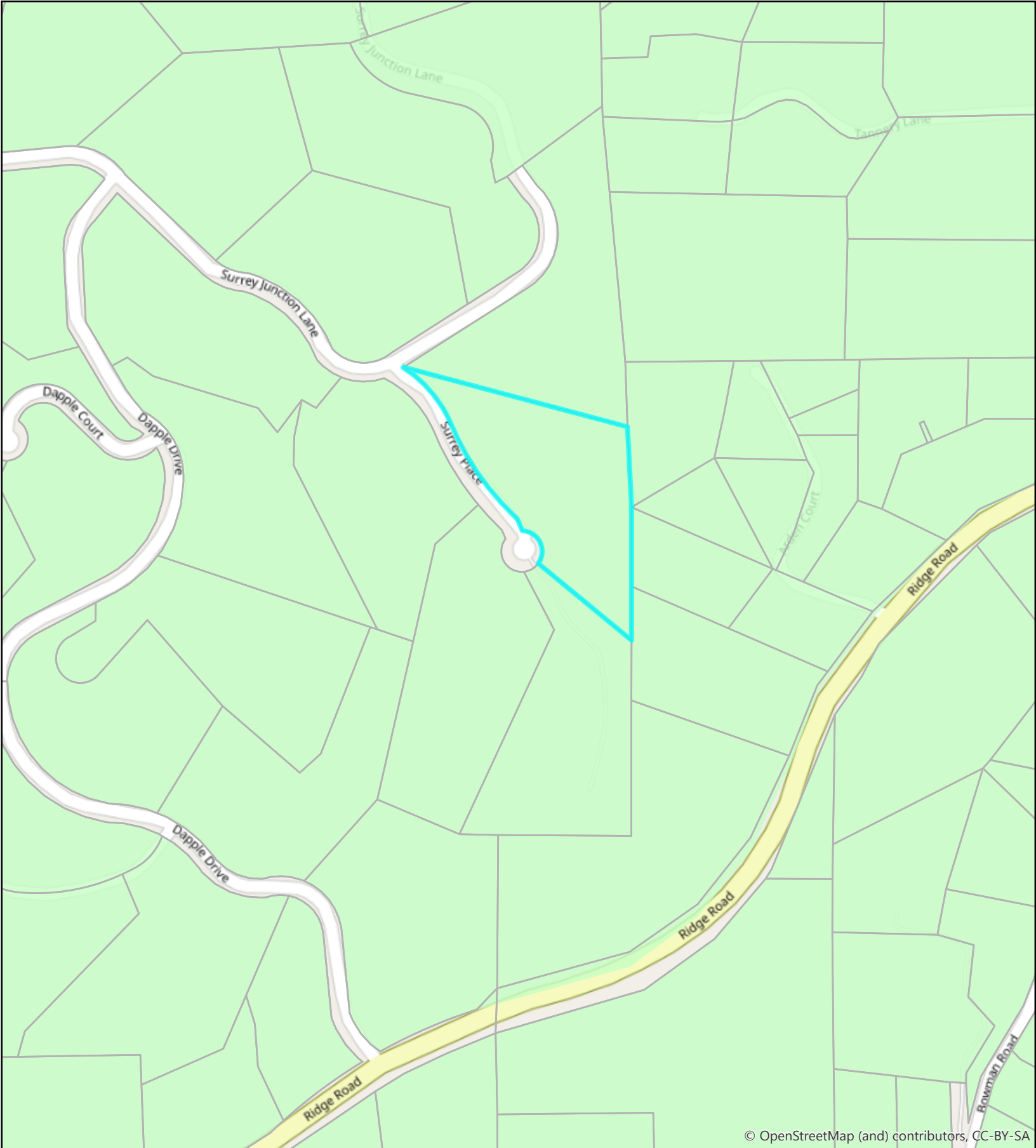
-  County Maintained Roads

UP-19;8-2 AERIAL

REQUEST FOR A USE PERMIT (UP-19;8-2) TO EXCEED THE HEIGHT LIMIT IN THE "RE," RESIDENTIAL ESTATES ZONING DISTRICT. THE HEIGHT LIMIT FOR STRUCTURES IN THE "RE" ZONING DISTRICT IS 30 FEET. THE APPLICANT WISHES TO CONSTRUCT A 38 FOOT HIGH DETACHED GARAGE WITH AN ACCESSORY DWELLING UNIT ON THE SECOND FLOOR. PURSUANT TO COUNTY CODE §19.48.090, STRUCTURES IN "R" DISTRICTS MAY EXCEED THE SPECIFIED HEIGHT LIMIT, SUBJECT TO A USE PERMIT. (APN 015-530-026)

0 250 500 US Feet



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Legend


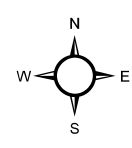
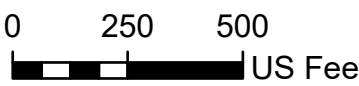
- Amador Boundary
- Assessor Parcels

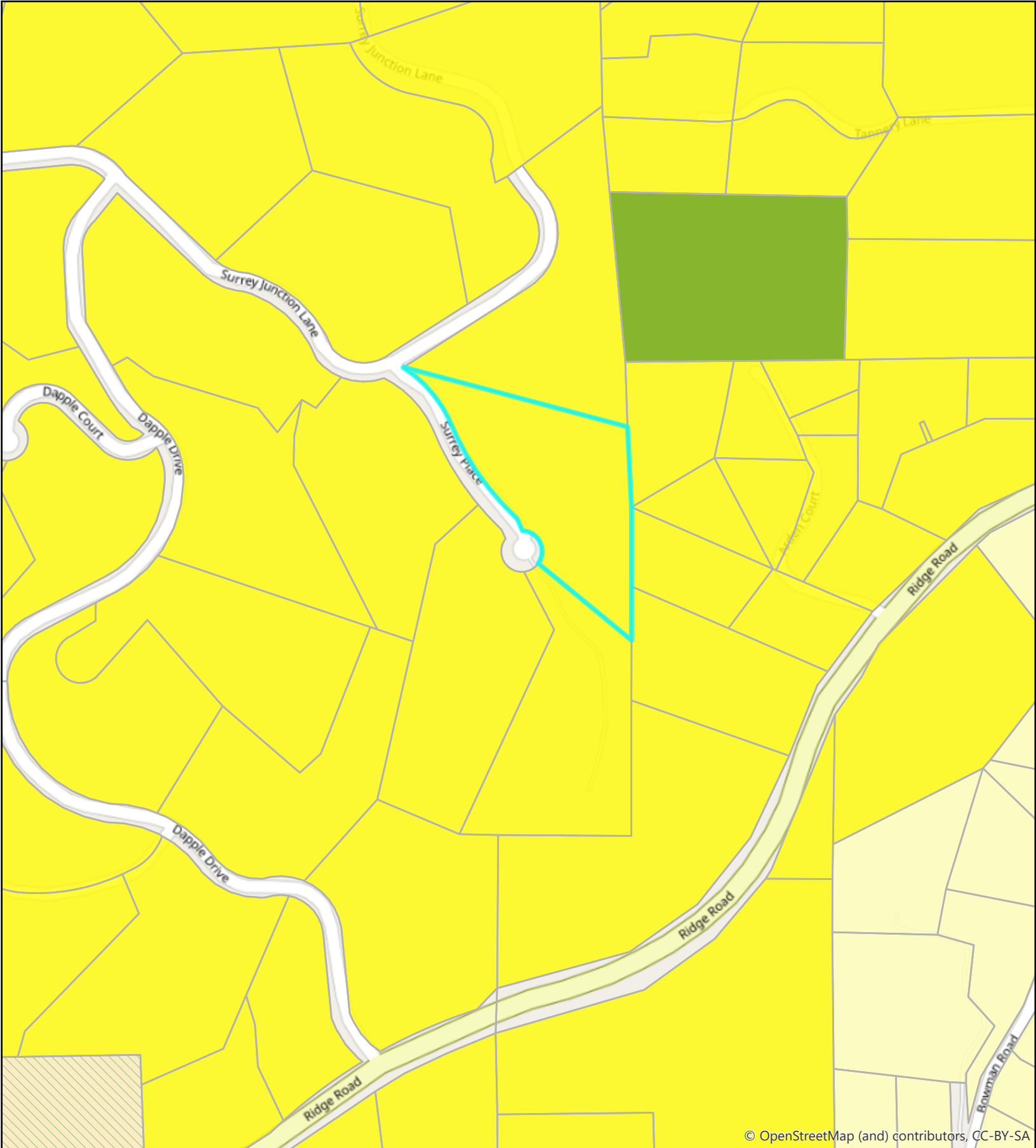
General Plan Designations

- AT

UP-19;8-2 GENERAL PLAN

REQUEST FOR A USE PERMIT (UP-19;8-2) TO EXCEED THE HEIGHT LIMIT IN THE "RE," RESIDENTIAL ESTATES ZONING DISTRICT. THE HEIGHT LIMIT FOR STRUCTURES IN THE "RE" ZONING DISTRICT IS 30 FEET. THE APPLICANT WISHES TO CONSTRUCT A 38 FOOT HIGH DETACHED GARAGE WITH AN ACCESSORY DWELLING UNIT ON THE SECOND FLOOR. PURSUANT TO COUNTY CODE §19.48.090, STRUCTURES IN "R" DISTRICTS MAY EXCEED THE SPECIFIED HEIGHT LIMIT, SUBJECT TO A USE PERMIT. (APN 015-530-026)



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Legend


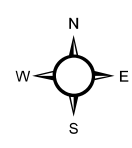
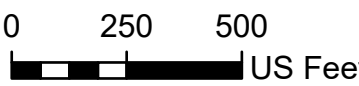
Amador Boundary
 Assessor Parcels

Zoning

	R1
	R2
	RE

UP-19;8-2 ZONING

REQUEST FOR A USE PERMIT (UP-19;8-2) TO EXCEED THE HEIGHT LIMIT IN THE "RE," RESIDENTIAL ESTATES ZONING DISTRICT. THE HEIGHT LIMIT FOR STRUCTURES IN THE "RE" ZONING DISTRICT IS 30 FEET. THE APPLICANT WISHES TO CONSTRUCT A 38 FOOT HIGH DETACHED GARAGE WITH AN ACCESSORY DWELLING UNIT ON THE SECOND FLOOR. PURSUANT TO COUNTY CODE §19.48.090, STRUCTURES IN "R" DISTRICTS MAY EXCEED THE SPECIFIED HEIGHT LIMIT, SUBJECT TO A USE PERMIT. (APN 015-530-026)



PLANNING DEPARTMENT LAND USE AGENCY

COUNTY ADMINISTRATION CENTER

810 Court Street • Jackson, CA 95642-2132
Telephone: (209) 223-6380

website: www.co.amador.ca.us
e-mail: planning@co.amador.ca.us

APPLICATION PROCEDURE FOR USE PERMIT

A Public Hearing before the Planning Commission will be scheduled after the following information has been completed and submitted to the Planning Department Office:

- ✓ 1. Complete the following:
Name of Applicant PHILIP G. MCCORMICK & JANET R. MCCORMICK
Mailing Address 14550 SURREY PL PINE GROVE CA 95665
Phone Number (209) 296-4550
Assessor Parcel Number 015-530-026

- ✓ 2. Use Permit Applied For:
** Excessive Height
** Bed and Breakfast Inn
** Temporary Caretaker Mobile Home
** Mobile Home for Farm Labor Quarters
** Other _____

- ✓ 3. Attach a letter explaining the purpose and need for the Use Permit.

- ✓ 4. Attach a copy of the deed of the property (can be obtained from the County Recorder's Office).

5. If Applicant is not the property owner, a consent letter must be attached.

- ✓ 6. Assessor Plat Map (can be obtained from the County Surveyor's Office).

- ✓ 7. Plot Plan (no larger than 11" X 17") of parcel showing location of request in relation to property lines, road easements, other structures, etc. (see Plot Plan Guidelines). Larger map(s) or plans may be submitted if a photo reduction is provided for notices, Staff Reports, etc. The need is for easy, mass reproduction.

8. Planning Department Filing Fee: \$ 1,027 ^{UP} 150 ^{Receiving}
Public Works Agency Review Fee: \$ 500 ^{deposit}
Environmental Health Review Fee: \$ 224

9. If necessary, complete an Environmental Information Form (ask Planning Department Staff).

10. Proposed floor plan (Guest House applications only).

** Environmental Health and Public Works Fee's apply.

Philip G. McCormick
Janet R. McCormick
14550 Surrey Place
Pine Grove, CA 95665
(209) 296-4550

August 13, 2019

Amador County Planning Department
810 Court Street
Jackson, CA 95642

Subject: Request for use permit (height variance) for proposed 3 car garage

Sir/Madam:

We purchased the home at the above address with the understanding that the previous owner had permitted but did not complete the three car garage. The footings had been approved by an Amador County building inspector but the work stopped and the permit subsequently expired.

We desire to complete the garage with accessory dwelling unit (ADU) on the second floor.

The project is located on a 5.0 acre lot next to the main dwelling. The surrounding properties are privately owned and are all a minimum of 5 acre lots. There are no known hazards on this property.

Current footings measure 44' by 22'. Both the ground floor and second floor are 968 square feet for a total of 1936 square feet. The source of water is from an existing well. The method of sewage disposal will be a septic system that will be required and separate from the current house septic system. A electrical subpanel is nearby with adequate circuits for the garage. The garage will have the same exterior products used as the main dwelling – stucco finish with asphalt shingles. We do not foresee any objections from our neighbors for this project based on our lot location, trees and compatibility with the main dwelling.

The proposed height variance requested is 38 feet which matches the use permit that was approved for the original dwelling. The desire is to match the home's roof both in pitch, construction, and materials.

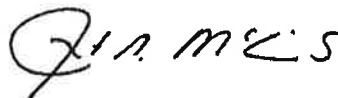
This application is to amend the original use permit that was approved on April 10, 1990 in order to build the main dwelling. Attached are the supporting documents for the original use permit.

The schedule to begin construction is late Fall and will run continuously until completed.

Sincerely,



Philip G. McCormick
Applicant



Janet R. McCormick
Applicant

INDEMNIFICATION

Project: M^cORMICIL THREE CAR GARAGE W/ ADU

In consideration of the County's processing and consideration of the application for the discretionary land use approval identified above (the "Project") the Owner and Applicant, jointly and severally, agree to defend, indemnify, and hold harmless the County of Amador from any claim, action, or proceeding against the County to attack, set aside, void or annul the Project approval, or any action relating related to the Project approvals as follows:

1. Owner and Applicant shall defend, indemnify, and hold harmless the County and its agents, officers or employees from any claim, action, or proceeding against the County or its agents, officers or employees (the "County") to attack, set aside, void or annul the Project approval, or any prior or subsequent determination regarding the Project, including but not limited to determinations related to the California Environmental Quality Act, or Project condition imposed by the County. The Indemnification includes, but is not limited to, damages, fees, and or costs, including attorneys' fees, awarded against County. The obligations under this Indemnification shall apply regardless of whether any permits or entitlements are issued.
2. The County may, within its unlimited discretion, participate in the defense of any such claim, action, or proceeding if the County defends the claim, action, or proceeding in good faith.
3. The Owner and Applicant shall not be required to pay or perform any settlement by the County of such claim, action, or proceeding unless the settlement is approved in writing by Owner and Applicant, which approval shall not be unreasonably withheld.

IN WITNESS WHEREOF, by their signature below, Owner and Applicant hereby acknowledge that they have read, understand, and agree to perform the obligations under this Indemnification.

Applicant:

Philip B. McCall
2/11/11

Signature

Owner (if different than Applicant):

Signature

ENVIRONMENTAL INFORMATION FORM

(To be completed by applicant; use additional sheets as necessary.)
Attach plans, diagrams, etc. as appropriate.

GENERAL INFORMATION

Project Name: Mc Cormick Garage 3 Car with ADU

Date Filed: 08/13/2019 File No. _____

Applicant/ Developer: Philip G. McCormick
Janet R. McCormick Landowner _____

Address: 14550 Surrey Pl Address _____
Pine Grove, CA 95065

Phone No. (209) 296-4550 Phone No. _____

Assessor Parcel Number(s) 015-530-026

Existing Zoning District RE

Existing General Plan AT

List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state, and federal agencies: NONE

WRITTEN PROJECT DESCRIPTION (Include the following information where applicable, as well as any other pertinent information to describe the proposed project):

1. Site Size
2. Square Footage of Existing/Proposed Structures
3. Number of Floors of Construction
4. Amount of Off-street Parking Provided (provide accurate detailed parking plan)
5. Source of Water
6. Method of Sewage Disposal
7. Attach Plans
8. Proposed Scheduling of Project Construction
9. If project to be developed in phases, describe anticipated incremental development.
10. Associated Projects
11. Subdivision/Land Division Projects: Tentative map will be sufficient unless you feel additional information is needed or the County requests further details.
12. Residential Projects: Include the number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected.
13. Commercial Projects: Indicate the type of business, number of employees, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities.
14. Industrial Projects: Indicate type, estimated employment per shift, and loading facilities.
15. Institutional Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project.
16. If the project involves a variance, conditional use permit, or rezoning application, state this and indicate clearly why the application is required.

ADDITIONAL INFORMATION Are the following items applicable to the project or its effects? Discuss below all items checked "yes" (attach additional sheets as necessary).

- | YES | NO | |
|--------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17. Change in existing features or any lakes or hills, or substantial alteration of ground contours. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 18. Change in scenic views or vistas from existing residential areas, public lands, or roads. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 19. Change in pattern, scale, or character of general area of project. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 20. Significant amounts of solid waste or litter. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 21. Change in dust, ash, smoke, fumes, or odors in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 22. Change in lake, stream, or ground water quality or quantity, or alteration of existing drainage patterns. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 23. Substantial change in existing noise or vibration levels in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Site on filled land or has slopes of 10 percent or more. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 25. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 27. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 28. Does this project have a relationship to a larger project or series of projects? |

ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site (cannot be returned).
30. Describe the surrounding properties, including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity (cannot be returned).
31. Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc. Attach photographs of any of these known features (cannot be returned).

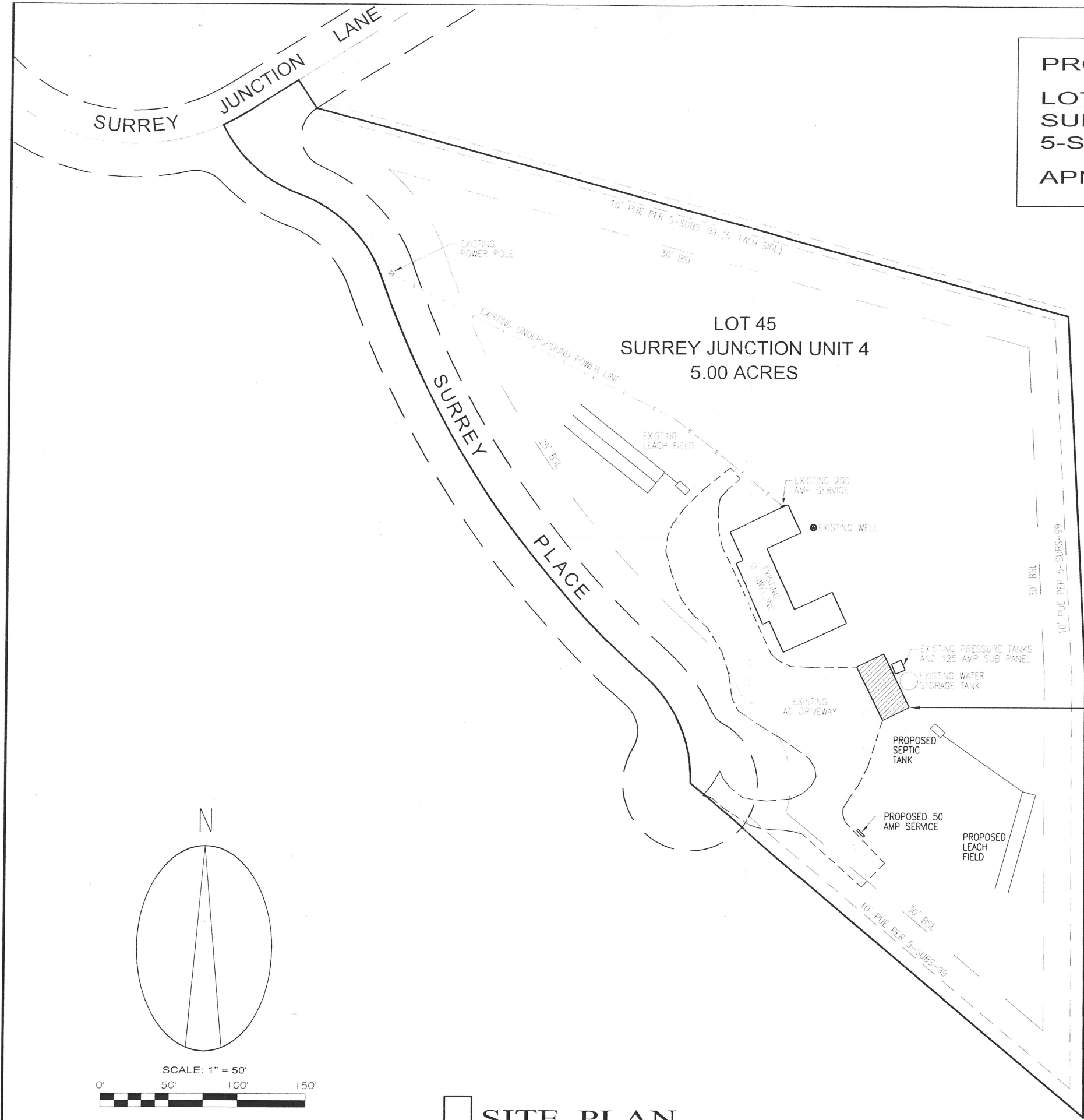
Certification: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date 08/13/2019

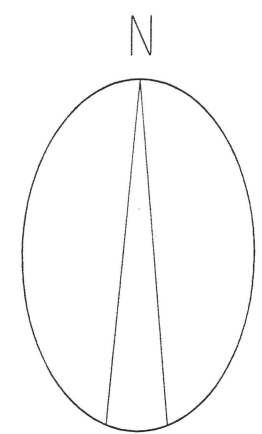
Repm' Ch JAMES
(Signature)

For _____

PROPERTY DATA:
LOT 45
SURREY JUNCTION UNIT 4
5-SUBS-99
APN 015-530-026



PROPOSED DETACHED GARAGE AND ACCESSORY DWELLING UNIT



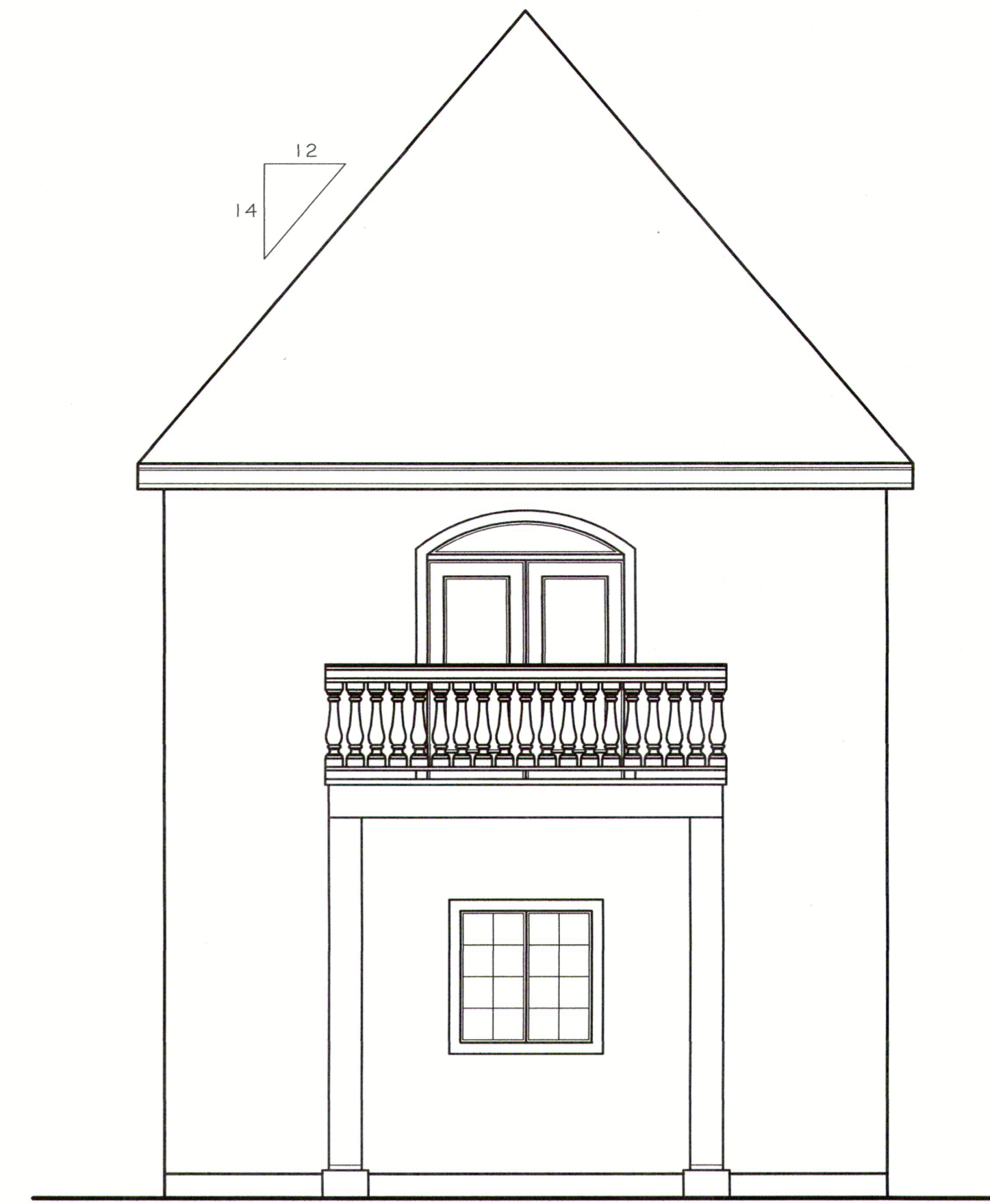
SCALE: 1" = 50'
 0' 50' 100' 150'

SITE PLAN

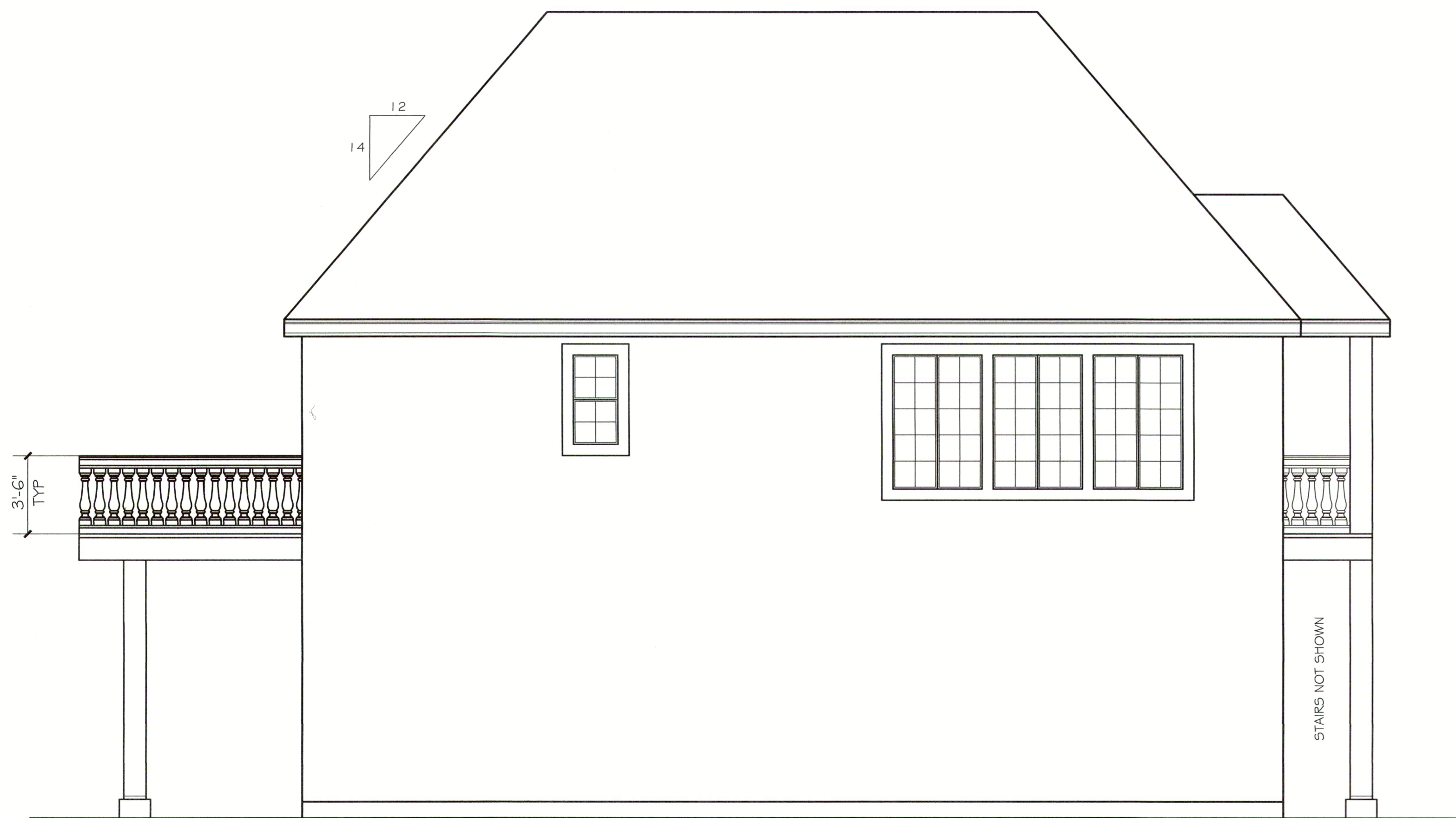
SCALE: 1" = 50'



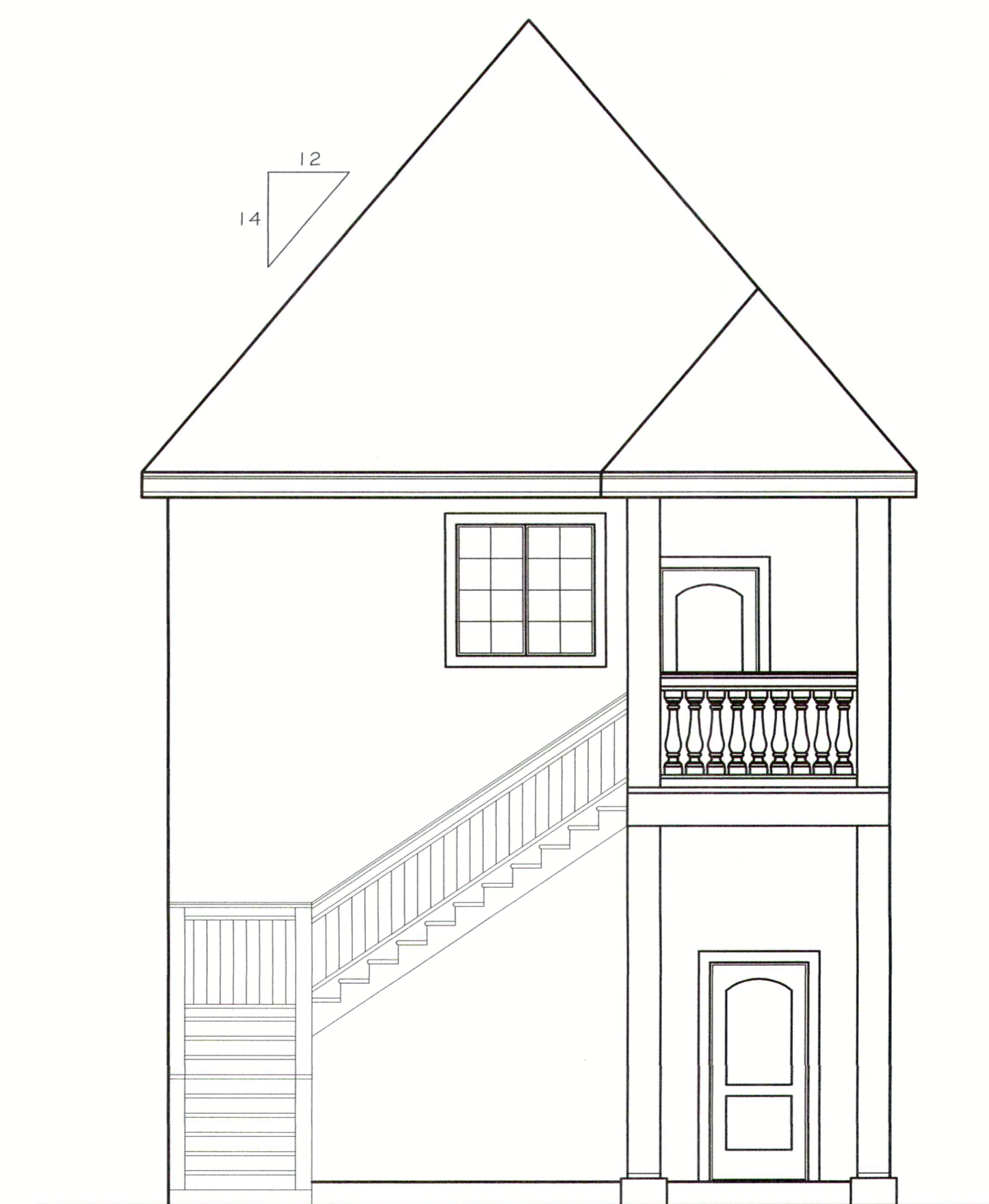
FRONT ELEVATION SCALE: 1/4"=1'-0"
WESTERLY



RIGHT ELEVATION SCALE: 1/4"=1'-0"
SOUTHERLY



REAR ELEVATION SCALE: 1/4"=1'-0"
EASTERLY



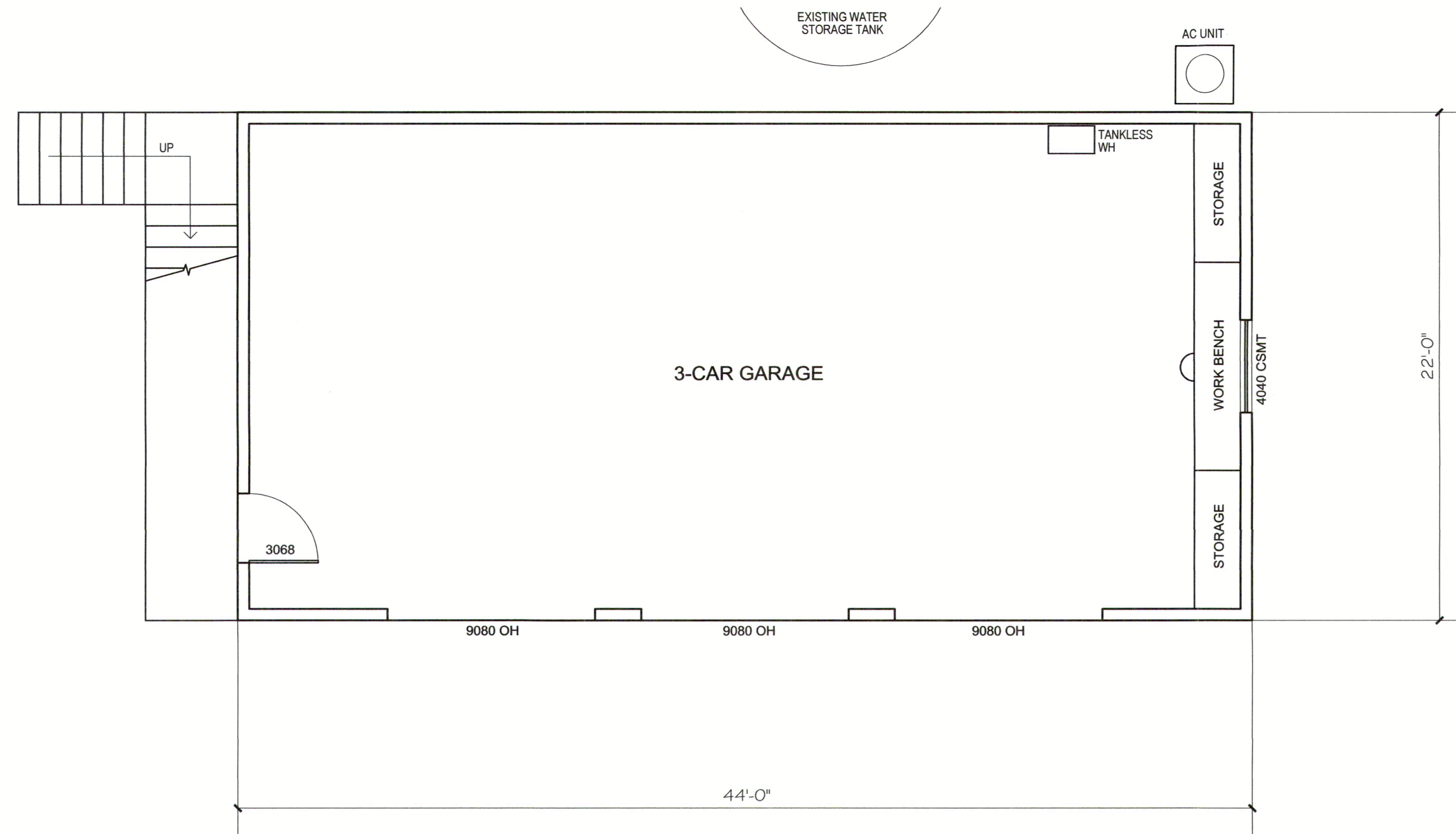
LEFT ELEVATION SCALE: 1/4"=1'-0"
NORTHERLY

REVISIONS	BY

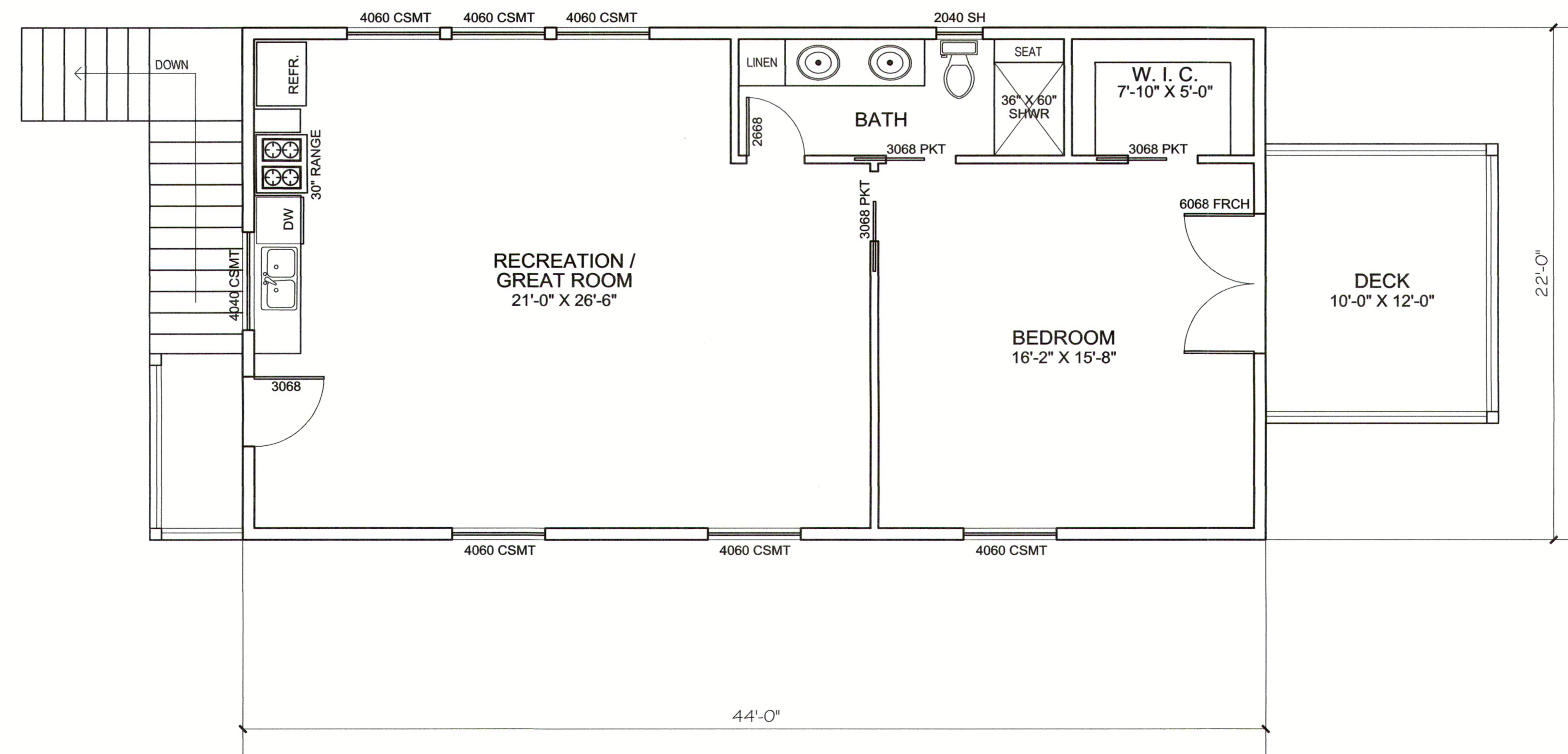
McCORMICK DETACHED GARAGE / ADU
14550 SURREY PLACE
PINE GROVE, CA 95665
APN 015-530-026

ELEVATIONS

SCALE: 1/4"=1'-0"



PRELIMINARY FLOOR PLAN LEVEL 1 SCALE: 1/4" = 1'-0"



PRELIMINARY FLOOR PLAN LEVEL 2 SCALE: 1/4" = 1'-0"

AREAS	
GARAGE AREA (LEVEL 1)	968 SF
LIVING AREA (LEVEL 2)	968 SF

REVISIONS	BY

McCORMICK DETACHED GARAGE / ADU
 14550 SURREY PLACE
 PINE GROVE, CA 95665
 APN 015-530-026

PRELIMINARY FLOOR PLAN

DETACHED GARAGE / ACCESSORY DWELLING UNIT FOR:

PHILIP and JANET McCORMICK

14550 SURREY PLACE
 PINE GROVE, CA 95685
 (209) 296-4550
 d575757@yahoo.com

APN 015-530-026

DRAWN BY:
 GINA WAKLEE
 P.O. BOX 836
 PINE GROVE, CA 95665
 (209) 296-7629
 gmw@jacksonca.net

CONSTRUCTION BY:
 OWNER

PROPERTY DATA:
 LOT 45
 SURREY JUNCTION UNIT 4
 5-SUBS-99
 APN 015-530-026

GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND THE INTERNATIONAL BUILDING CODE (IBC) AND THE STATE FIRE MARSHAL (SFM) APPROVED STANDARDS AND WILDLAND URBAN INTERFACE (WUI) APPROVED PRODUCT.
2. CONSTRUCTION SHALL ALSO CONFORM TO THE LATEST ADOPTED EDITION OF THE CRC, CFC, CMC, CEC, CALIFORNIA ENERGY CODE (TITLE 24), CFC AND THE GREEN BUILDING STANDARDS CODE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES, ERRORS OR OMISSIONS BEFORE COMMENCING CONSTRUCTION. NOTED DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS.

CALIFORNIA ENERGY CODE (TITLE 24) NOTES

1. BUILDING SHALL CONFORM WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE AND COMPLY WITH THE REGULATIONS SET FORTH BY THE CALIFORNIA ENERGY COMMISSION.
2. BUILDING ENVELOPE SHALL BE AS FOLLOWS:
 CEILING: R-38 INSULATION
 WALLS: R-19 INSULATION
 RAISED FLOOR (IF APPLICABLE): R-19 INSULATION
 INSULATION SPECIFIED AND INSTALLED MUST MEET CALIFORNIA ENERGY CODE QUALITY STANDARDS.
3. ALL BATHROOM HARDWIRED LIGHTING SHALL BE HIGH EFFICACY, OR CONTROLLED BY A MANUAL-ON MOTION SENSOR.
4. ALL OTHER ROOMS AND OUTDOOR LIGHTING, EXCLUDING CLOSETS LESS THAN 70 SF, SHALL HAVE HIGH EFFICACY LIGHTING OR BE CONTROLLED BY A MANUAL-ON MOTION SENSOR OR BE CONTROLLED BY A DIMMER.
5. DOMESTIC HOT WATER HEATING SYSTEM SHALL BE NATURAL GAS OR PROPANE. SIZE AND SPECIFICATIONS SHALL BE NOTED ON ATTACHED TITLE 24 CALCS AND PER MANUFACTURERS SPECIFICATIONS.
6. THE FIRST FIVE (5) FEET OF PIPE CLOSEST TO WATER HEATER SHALL BE INSULATED WITH R-4 OR GREATER.
7. ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHERSTRIPPED. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED AND SEALED.
8. SPACE CONDITIONING EQUIPMENT SHALL BE APPROVED GAS FORCED AIR UNIT WITH SETBACK THERMOSTAT. ALL HEATING, DUCTING, VENTILATION AND AIR CONDITIONING EQUIPMENT SHALL BE CERTIFIED BY THE CEC AND SHALL BE INSTALLED PER THE LATEST ADOPTED EDITION OF CBC.
9. GLAZING INFORMATION AND SPECIFICATIONS SHALL BE NOTED ON ATTACHED TITLE 24 CALCULATIONS.
10. ALL BATHROOM FANS SHALL BE HUMIDISTAT CONTROLLED AND VENTED TO THE EXTERIOR.

ELECTRICAL NOTES

1. ALL WORK SHALL CONFORM WITH THE LATEST ADOPTED EDITION OF THE IBC, CBC AND CALIFORNIA ELECTRIC CODE.
2. ALL ELECTRICAL FIXTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE AND COMPLY WITH REGULATIONS SET FORTH BY THE CALIFORNIA ENERGY COMMISSION.
3. PROVIDE GROUNDING (UFER) FOR THE MAIN SERVICE PER LATEST ADOPTED EDITION OF CALIFORNIA ELECTRIC CODE.
4. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, IE IN BATHROOMS, HALLWAYS, CLOSETS, ETC.
5. DWELLINGS WITH DIRECT GRADE ACCESS SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET AT GRADE LEVEL AT THE FRONT AND BACK OF THE DWELLING. ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED OUTDOORS WITH DIRECT GRADE ACCESS SHALL BE GFCI PROTECTED. ALL RECEPTACLES INSTALLED OUTDOORS IN WET OR DAMP AREAS SHALL BE IN APPROVED WEATHERPROOF ENCLOSURE.
6. PROVIDE GFCI PROTECTION TO ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN BATHROOMS AND RECEPTACLES TO SERVE COUNTERTOP SURFACES.
7. BATHROOM RECEPTACLES SHALL BE SUPPLIED BY A SEPARATE 20 AMP CIRCUIT AND SHALL NOT HAVE EXHAUST FAN, LIGHTING OR OTHER OUTLETS.
8. FIXTURES INSTALLED RECESSED IN WALLS OR CEILINGS SHALL COMPLY WITH LATEST ADOPTED EDITION OF CEC.
9. HYDROMASSAGE TUBS AND THEIR ASSOCIATED ELECTRICAL COMPONENTS SHALL BE GFCI PROTECTED.
10. CONTRACTOR SHALL INSURE THAT WORKING CLEARANCES ARE MAINTAINED FOR ALL ELECTRICAL PANELS. LOCATION OF MAIN PANEL SHALL BE VERIFIED ONSITE AND BE APPROVED BY PG&E AND BUILDING DEPARTMENT PRIOR TO INSTALLATION.
11. COMBINATION SMOKE AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE STRUCTURE WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A CENTRALLY LOCATED CORRIDOR POINT GIVING ACCESS TO EACH SLEEPING ROOM.
12. ALL RECEPTACLE OUTLETS INSTALLED IN BEDROOMS AND/OR OFFICES SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTOR.
13. ALL BATHROOM HARDWIRED LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL-ON MOTION SENSOR.
14. ALL OTHER ROOMS AND OUTDOOR LIGHTING, EXCLUDING CLOSETS LESS THAN 70 SF, SHALL HAVE HIGH EFFICACY LIGHTING OR BE CONTROLLED BY A MANUAL-ON MOTION SENSOR OR BE CONTROLLED BY A DIMMER.
15. PROVIDE TWO OR MORE 20 AMP SMALL APPLIANCE BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN, PANTRY, BREAKFAST NOOK, DINING ROOM OR SIMILAR AREA. SUCH CIRCUITS, WHETHER TWO OR MORE ARE USED, SHALL HAVE NO OTHER OUTLETS. ONE ADDITIONAL 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLES. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS.
16. PROVIDE 4 WIRE (220) RECEPTACLES AT ALL RANGES, OVENS AND CLOTHES DRYERS.
17. ALL BATHROOM FANS SHALL BE HUMIDISTAT CONTROLLED AND VENTED TO THE EXTERIOR.

PLUMBING NOTES

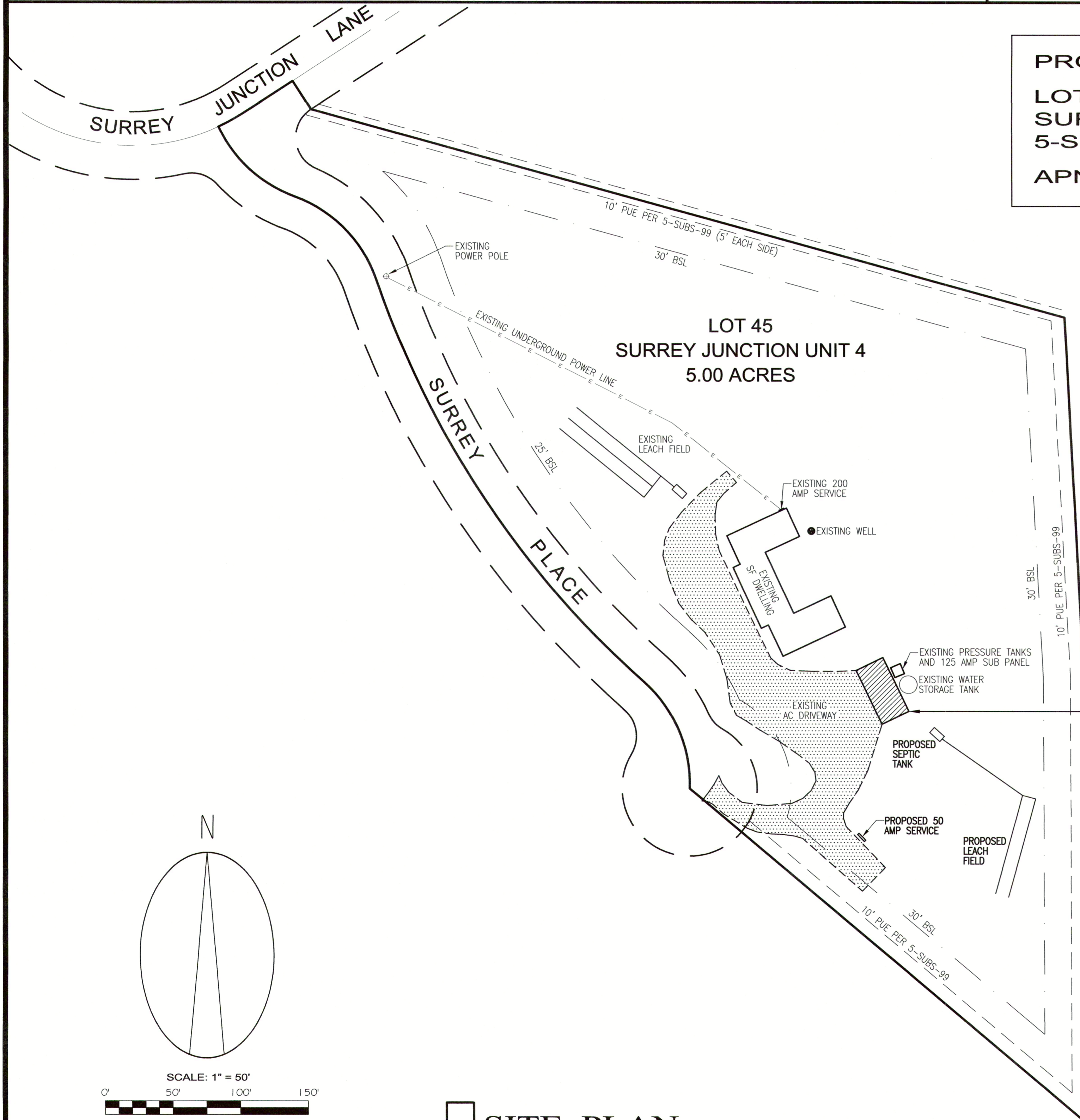
1. PROVIDE APPROVED DISHWASHER AIR GAP FITTING PER CFC.
2. POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, OTHER THAN WATER HEATER DRAINS, SHALL BE PROVIDED WITH A LISTED NON-REMOVEABLE HOSE BIBB TYPE BACKFLOW PREVENTOR, IE ANTI-SIPHON DEVICE.
3. NO UNDERFLOOR CLEANOUT SHALL BE LOCATED MORE THAN TWENTY (20) FEET FROM AN ACCESS DOOR OR CRAWL SPACE.
4. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
5. WATER HEATER SHALL HAVE SEISMIC BRACING PER CBC AND CPC AND MANUFACTURERS SPECIFICATIONS. ALL STORAGE TYPE WATER HEATERS SHALL HAVE A TEMPERATURE/PRESSURE RELIEF VALVE WITH A 3/4" HARD PIPE DRAIN WHICH TERMINATES 6" TO 24" ABOVE GRADE AND POINTS DOWNWARD. THE DRAIN PIPE SHALL MAINTAIN A DOWNWARD SLOPE TO THE EXTERIOR SO AS TO AVOID ANY ENTRANCE/EXIT AREAS.
6. WATER HEATER SHALL BE STRAPPED TWICE AT THE 1/3 POSITIONS. THE STRAPS SHALL NOT INTERFERE WITH CONTROLS.
7. ALL GAS OUTLETS LOCATED IN A BARBEQUE OR FIREPLACE SHALL BE CONTROLLED BY AN APPROVED OPERATING VALVE LOCATED IN THE SAME ROOM AND OUTSIDE THE HEARTH, BUT NOT MORE THAN FOUR (4) FEET FROM SUCH OUTLETS.

ADDITIONAL NOTES

1. ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". THE OPENING SHALL BE IN AN ACCESSIBLE LOCATION AND HAVE A MINIMUM OF 30" HEADROOM CLEARANCE. OPENING SHALL BE WEATHERSTRIPPED AND 1-HOUR CONSTRUCTION PER CBC AND CFC.
2. ALL GLASS SHALL BE IMPACT RESISTANT, IE TEMPERED. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE TEMPERED INSULATING GLASS UNITS AND CONFORM WITH SFM REQUIREMENTS.
3. EXTERIOR WALLS SHALL PROVIDE PROTECTION IN ACCORDANCE WITH SFM REQUIREMENTS. EXTERIOR WALL TREATMENTS AND/OR WALL SHEATHING SHALL BE SFM APPROVED, NON-COMBUSTIBLE, IGNITION-RESISTANT MATERIAL.
4. PROVIDE APPROVED SMOOTH SURFACE METAL EXHAUST DUCT WITH BACKDRAFT DAMPER FROM CLOTHES DRYER TO OUTSIDE. EXHAUST DUCT LENGTH IS LIMITED TO 14' TOTAL LENGTH FROM THE DRYER TO THE POINT OF TERMINATION. REDUCT THIS LENGTH BY TWO FEET FOR EVERY ELBOW IN EXCESS OF TWO.
5. FOR ATTACHED GARAGE, FIRE SEPARATION BETWEEN GARAGE AND HOUSE SHALL ENCLOSE GARAGE SPACE. PROVIDE 5/8" TYPE "X" SHEETROCK TO ALL GARAGE WALLS AND CEILING. DOOR FROM GARAGE TO LIVING SPACE SHALL BE 1-3/8" MIN. SOLID CORE WITH APPROVED SELF-CLOSING DEVICE AND WEATHERSTRIPPED. NO NON-APPROVED NON-METAL PENETRATIONS ARE ALLOWED.
6. PROVIDE AN 18" RAISED PLATFORM FOR ANY WATER HEATER, FURNACE UNIT OR OTHER SPARK/FIAME GENERATING DEVICE IN GARAGE.
7. MASONRY AND FACTORY-BUILT FIREPLACES SHALL HAVE TIGHT-FITTING, CLOSEABLE METAL OR GLASS DOORS, OUTSIDE AIR INTAKE WITH DAMPER AND CONTROL, AND FLUE DAMPER AND CONTROL.
8. RANGE HOOD SHALL BE VENTED TO THE EXTERIOR.

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SITE PLAN

SCALE: 1" = 50'

REVISIONS	BY

McCORMICK DETACHED GARAGE / ADU
 14550 SURREY PLACE
 PINE GROVE, CA 95665
 APN 015-530-026

SITE PLAN

SCALE: 1" = 50'

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