



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY
PLANNING DEPARTMENT

PHONE: (209) 223-6380
FAX: (209) 223-6254
WEBSITE: www.amadorgov.org
E-MAIL: planning@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

Early Consultation Application Referral

TO:

ACTC	Transportation and Public Works Department
AFPD	Waste Management Department
Amador Air District	Buena Vista Band of Me-Wuk Indians**
Amador LAFCO	Calaveras Band of Mi-Wuk Indians**
Amador Transit	Chicken Ranch Rancheria of Me-Wuk Indians**
Amador Water Agency	Ione Band of Miwok Indians**
Building Department	Jackson Rancheria Band of Miwok Indians**
Cal Fire	Nashville Enterprise Miwok- Maidu- Nishinam Tribe**
Caltrans, District 10	Shingle Springs Band of Miwok Indians**
CDFW, Region 2	United Auburn Indian Community of the Auburn Rancheria**
County Counsel	Washoe Tribe of Nevada and California**
Environmental Health Department	
Sheriff's Office	
Surveying Department	

DATE: March 25, 2022

FROM: Krista Ruesel, Planning Department

PROJECT: A joint project submitted by Del Rapini Construction, Apex Energy Solutions, and Ecorp Consulting consisting of:

- 1) Tentative parcel map application **PM 2903 Del Rapini**, proposing a division of a 6.39-acre parcel into three parcels 1.99, 1.59, and 2.52 acres in size, and Boundary Line Adjustment;
- 2) General Plan Amendment of a ±3-acre portion of the abovementioned property from the RL, Residential Low Density General Plan Designation to TC, Town Center General Plan Designation (**GPA-21;10-2 Del Rapini**);
- 3) Zone Change Application for the same ±3-acre portion of the previously referenced property from R1, Single-family Residential Zoning District to C2, Heavy Commercial Zoning District (**ZC-21;10-1 Del Rapini**); and
- 4) Use Permit for a Battery Energy Storage Facility (**UP-19;11-2 Apex Energy, Ecorp Consulting, Inc.**).

APN: 030-740-022

Please note, this project was reviewed by TAC for completeness and found incomplete On December 2, 2021. The applicant has since revised the application to include additional information, included in the referral packet.

Applicant: Delbert E. Rapini/Del Rapini Construction, Apex Energy Solutions, Ecorp Consulting, Inc.

Supervisory District: 4

Location: ±300 ft. Southwest of the intersection of Ridge Rd. and Hwy 88

REVIEW: As part of the preliminary review process, this project is being sent to State, Tribal, and local agencies for their review and comment. The Technical Advisory Committee (TAC) will review the project application for completeness during its regular meeting on Thursday, **April 7, 2022 at 1:00 p.m.** in the Board of Supervisors Chambers at the County Administration Building, 810 Court Street, Jackson, California as well as via teleconference, accessible through this link: <https://us02web.zoom.us/j/5375128983> or by calling one of the numbers below:

+1 669 900 6833 US
+1 312 626 6799 US

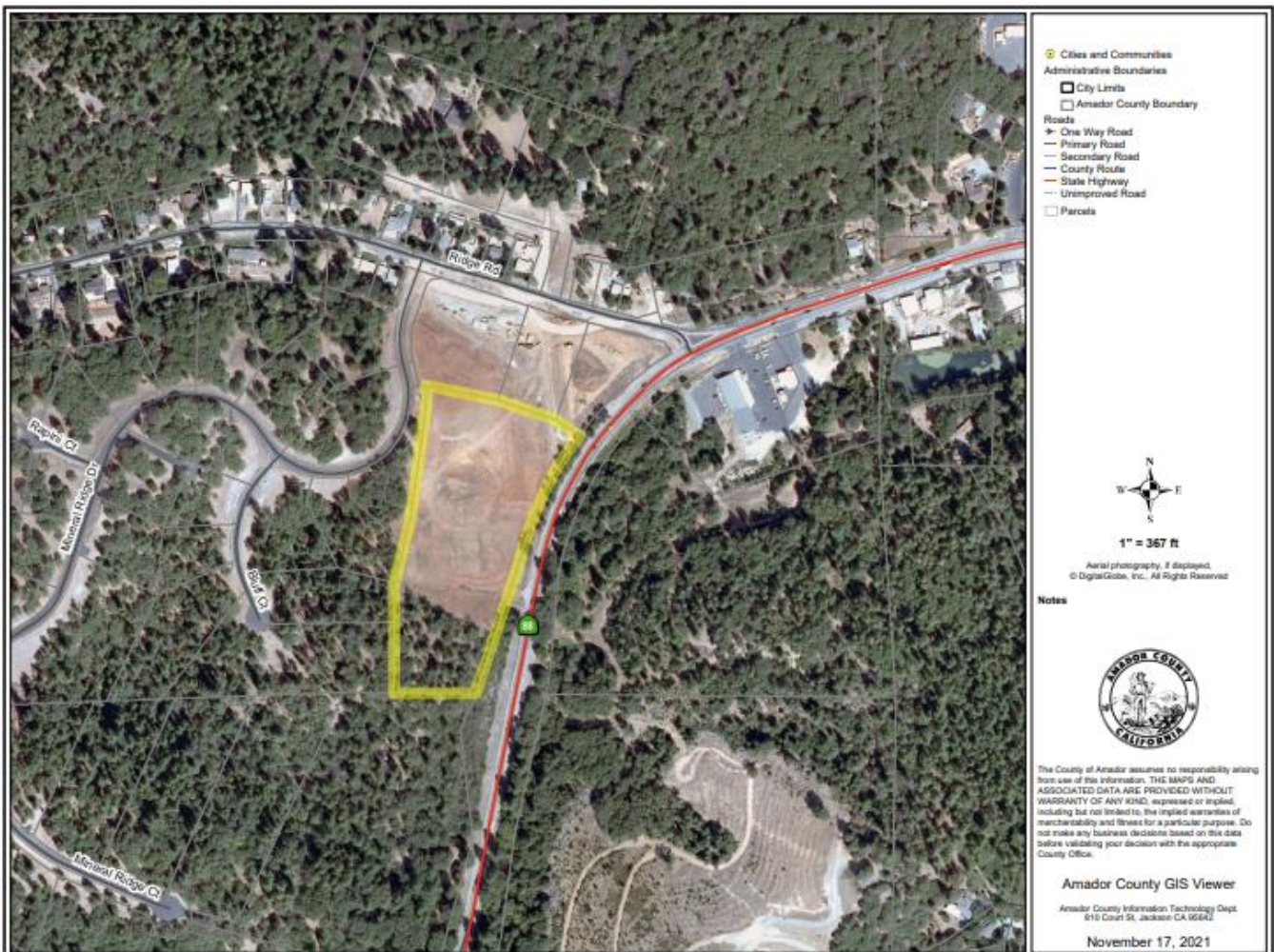
+1 346 248 7799 US
+1 929 205 6099 US

+1 301 715 8592 US
+1 253 215 8782 US

Meeting ID: 537 512 8983

Additional TAC meetings may be scheduled at a later date to complete a CEQA Initial Study, prepare mitigation measures and/or conditions of approval, and make recommendations to the Planning Commission.

Project Proposed Location highlighted in yellow:



MEMORANDUM

Date: March 24, 2022

From: Sarah Kaaki, Planning & Development Intern, Apex Energy Solutions, LLC.

To: Krista Ruesel, Amador County Planning Department

Re: Purpose Letter – Cedar 1 Battery Project

Dear Krista,

In effort to reduce greenhouse gas (GHG) emission and expand the availability of alternative energy resources locally and regionally, the project proponent/applicant, Apex Energy Solutions, LLC. is proposing to develop the Cedar 1 Battery Project (Project), an up to five (5)- megawatt alternating current (MWAC)/ forty (20)-megawatt hour (MWh) Battery Energy Storage System (BESS or ESS) facility on approximately two and one half (2.5) undeveloped acres, in the unincorporated region of Amador County, California on APN 030-740-022.

The applicant is requesting County of Amador ("County") review and approval of a Conditional Use Permit (CUP) for the construction of a battery energy storage facility. The project would be constructed in one (1) phase that would be built over an up to six (6) month period and is anticipated to operate for a period of up to 30 years. After the 30-year project service life, the project would be decommissioned, and the project site returned to its pre-project condition. The BESS structures would not be designated for permanent occupancy and the equipment will be serviced on in intermittent basis by technicians.

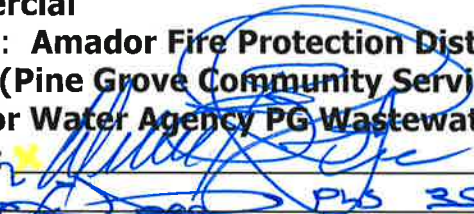

The project parcel has a General Plan designation of TC (Local Service Center) and is zoned C2 (Heavy Commercial). According to Table 2-1 in Section 18.10.020 of the Amador County Development Ordinance, "Energy Generation Facilities, Wind Farms, Biomass Fuel Manufacturing (off-site energy use)" are allowed uses with a Conditional Use Permit (CUP). As such, battery storage facilities are allowed in this zone with an approved Conditional Use Permit through the Amador County Planning and Community Development Department. Therefore, this Conditional use Permit application is being filed for consideration by the Planning Commission.

X Sarah K 3/24/2022

Sign & Date: Sarah Kaaki

**APPLICATION FORM AND CHECKLIST FOR
TENTATIVE PARCEL MAP AND SUBDIVISION MAP**

The following information shall be included with this application:

1. Parcel Map Number: **2903**
Subdivision Name/Number:
2. Subdivider and/or Land Owner: **Delbert E. Rapini/Del Rapini Construction**
Name: **Delbert E. Rapini**
Address: **5701 Olive Ranch Rd., Granite Bay, CA 95746**
Phone: **(209) 408-2607**
Email: **cavroper@gmail.com**
3. Surveyor: **Toma and Associates, 41 Summit St., Jackson, CA 95642**
4. Assessor Plat Number: **030-740-022**
5. Existing Zoning District: **"R1" SF Residential and "C2" Heavy Commercial**
Proposed Zoning: **"C2" Heavy Commercial**
6. Existing General Plan Class.: **TC Town Center and RL Res. Low Density**
Proposed General Plan: **TC Town Center**
7. Date Application Submitted:
8. Proposed Use of Parcels: **Commercial**
9. Special Use Districts (if applicable): **Amador Fire Protection District**
10. Source of Water Supply: **PGCSD (Pine Grove Community Services District)**
11. Sewage Disposal System: **Amador Water Agency PG Wastewater System**
12. Signature of Landowner/Applicant: 
13. Signature of Surveyor:  PLS 2570

The following shall be included with this application:

- ✓ Thirty-five (35) copies of tentative map
Option for 35 copies:
15 copies 18" x 26" in size (folded to 6" x 9-1/2" in size)
20 copies 11" x 17" in size
- ✓ One (1) copy of Assessor's Plat Map
- ✓ Two (2) copies of deed(s)
- ✓ Two (2) copies of completed environmental information form (Sections 19, 30 and 31 require description and photos)
- ✓ Two (2) copies of preliminary map report
- ✓ One (1) reduced 8-1/2" x 11" copy of tentative map
- ✓ Application fee (see Fee Schedule)
- ✓ Copy of receipt of Environmental Health Dept. and Public Works Dept.
- ✓ Completed and signed Indemnification Agreement
- ✓ If your project access off a State highway, provide encroachment permit or other pertinent information (e.g., a road maintenance agreement if your project access from a road directly connected to a State highway)
- ✓ Oak Woodlands Study prepared by a Registered Professional Forester
- ✓ Cultural Analysis

INDEMNIFICATION

Project: Tentative Parcel Map No. 2903

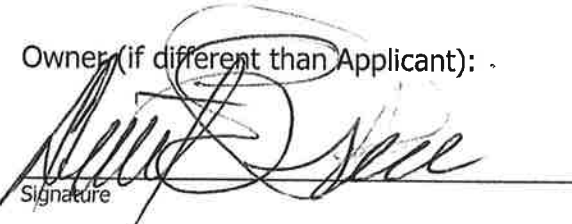
In consideration of the County's processing and consideration of the application for the discretionary land use approval identified above (the "Project") the Owner and Applicant, jointly and severally, agree to defend, indemnify and hold harmless the County of Amador from any claim, action or proceeding against the County to attack, set aside, void or annul the Project approval, or any action relating to the Project approvals as follows:

1. Owner and Applicant shall defend, indemnify and hold harmless the County and its agents, officers or employees from any claim, action or proceeding against the County or its agents, officers or employees (the "County") to attack, set aside, void or annul the Project approval, or any prior or subsequent determination regarding the Project, including but not limited to determinations related to the California Environmental Quality Act, or Project condition imposed by the County. The Indemnification includes, but is not limited to damages, fees and or costs, including attorneys' fees, awarded against County. The County in its sole discretion may hire outside counsel to handle its defense or may handle the matter internally. Indemnification also includes paying for the County's defense if it elects to hire outside counsel. Indemnification also includes compensating the County for staff time associated with the litigation. The obligations under this Indemnification shall apply regardless of whether any permits or entitlements are issued.
2. The County may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if the County defends the claim, action or proceeding in good faith.
3. The Owner and Applicant shall not be required to pay or perform any settlement by the County of such claim, action or proceeding unless the settlement is approved in writing by Owner and Applicant, which approval shall not be unreasonably withheld.

IN WITNESS WHEREOF, by their signature below, Owner and Applicant hereby acknowledge that they have read, understand and agree to perform the obligations under this Indemnification.

Applicant:

Signature

Owner (if different than Applicant):

Signature

INDEMNIFICATION

Project: Tentative Parcel Map No. 2903

In consideration of the County's processing and consideration of the application for the discretionary land use approval identified above (the "Project") the Owner and Applicant, jointly and severally, agree to defend, indemnify and hold harmless the County of Amador from any claim, action or proceeding against the County to attack, set aside, void or annul the Project approval, or any action relating to the Project approvals as follows:

1. Owner and Applicant shall defend, indemnify and hold harmless the County and its agents, officers or employees from any claim, action or proceeding against the County or its agents, officers or employees (the "County") to attack, set aside, void or annul the Project approval, or any prior or subsequent determination regarding the Project, including but not limited to determinations related to the California Environmental Quality Act, or Project condition imposed by the County. The Indemnification includes, but is not limited to damages, fees and or costs, including attorneys' fees, awarded against County. The obligations under this Indemnification shall apply regardless of whether any permits or entitlements are issued.
2. The County may, within its unlimited discretion, participate in the defense of any such claim, action or proceeding if the County defends the claim, action or proceeding in good faith.
3. The Owner and Applicant shall not be required to pay or perform any settlement by the County of such claim, action or proceeding unless the settlement is approved in writing by Owner and Applicant, which approval shall not be unreasonably withheld.

IN WITNESS WHEREOF, by their signature below, Owner and Applicant hereby acknowledge that they have read, understand and agree to perform the obligations under this Indemnification.

Applicant:

Signature

Owner (if different than Applicant):

x _____
Signature



TOMA & ASSOCIATES, INC.

ENGINEERING- SURVEYING- PLANNING

August 11, 2021

Amador County Land Use Agency
Attn: Planning Department
810 Court Street
Jackson, CA 95642

**Re: Minor Zone/General Plan Change Application
Delbert E. Rapini/Del Rapini Construction
APN 030-740-022**

The undersigned, being the person(s) owning record title to the abovementioned land within Amador County, do(es) hereby consent to the preparation and submittal of this zone/general plan change application.

I/We authorize Matthew Toma of Toma and Associates to serve as representative and applicant for this project.

Delbert E. Rapini
Del Rapini Construction



PLANNING DEPARTMENT
LAND USE AGENCY
COUNTY ADMINISTRATION CENTER

810 Court Street • Jackson, CA 95642-2132
Telephone: (209) 223-6380

website: www.co.amador.ca.us
e-mail: planning@co.amador.ca.us

PRE-APPLICATION INFORMATION AND CHECKLIST FOR
GENERAL PLAN AMENDMENT

General Plan amendments can be processed four (4) times a year. Public hearings will be scheduled approximately on a quarterly basis throughout the year after applications are accepted or the County initiates such action.

Application for General Plan amendment shall include the following:

1. Letter of application explaining purpose of request, description of proposed uses, and other pertinent information. NOTE: In the past, the Board of Supervisors has rejected General Plan amendment requests not accompanied by a specific project application (e.g. tentative subdivision map, master plan, use permit, etc.).
2. Letter of authorization if landowner is being represented by another party.
3. Submit Assessor Plat Map(s) with subject project area outlined neatly with red pencil. NOTE: Assessor Plat Maps can be obtained from the Surveying and Engineering Department (500 Argonaut Lane, Jackson, CA) for putting the project map together.
4. Copy of deed(s) and legal description of all property within subject project area.
5. Completed Environmental Information Form and Indemnification Agreement.
6. Statement as to whether the project area is within 1000' of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resource Code and within an urbanized area as defined in Section 65944 (maps available in Planning Dept or on-line at <http://atlas.resources.ca.gov/>). (SEE ATTACHED TPM NOTE 21)
7. Filing fee of \$_____ (see attached schedule of fees).
8. Application Form to be signed at the time of project presentation in the Planning Department.

NOTE: IT IS TO YOUR BENEFIT TO BE AS SPECIFIC AS POSSIBLE WITH YOUR APPLICATION INFORMATION.

NOTE: ALL GENERAL PLAN AMENDMENTS ARE SUBJECT TO SB 18 (TRIBAL CONSULTATION GUIDELINES).



TOMA & ASSOCIATES, INC.
ENGINEERING- SURVEYING- PLANNING

August 11, 2021

Amador County Planning Department
Attn: Chuck Beatty
810 Court Street
Jackson, CA 95642

**Re: Application for Zone Change to accompany TPM 2903
Rapini Construction
APN 030-740-022**

Dear Chuck,

Attached is an application for a zone change to accompany Tentative Parcel Map 2903. APN 030-740-022 currently has split zoning designations ("R1" and "C2") as well as split general plan designations (RL and TC).

Del Rapini is proposing to eliminate the "R1" (single family residential) designation that currently exists on the southerly portion of APN 030-740-022. Proposed zoning on that portion would be "C2" (heavy commercial) which is consistent with the existing zoning on the northerly portion of APN 030-740-022.

On that same abovementioned southerly portion, he is also proposing an amendment to the General Plan from RL (residential low density) to TC (town center) which is consistent with the existing general plan designation on the northerly portion of APN 030-740-022.

Please let me know if you need any additional information.

Best Regards,

Gina Waklee
Toma and Associates
gina@tomasurvey.com



PLANNING DEPARTMENT

APPLICATION FOR ZONE CHANGE

Application for a zoning change shall include the following:

1. A. Name of Property Owner DEL RAPINI CONSTRUCTION
Mailing Address 5701 OLIVE RANCH ROAD
GRANITE BAY, CA 95746
Phone Number (209) 408-2607
- B. Name of Applicant SAME AS OWNER
Mailing Address _____
Phone Number _____
- C. Name of Representative TDMA AND ASSOCIATES
Mailing Address 41 SUMMIT STREET
JACKSON, CA 95642
Phone Number (209) 223-0156

2. Assessor Parcel Number(s) 030-740-022
3. Letter of application explaining purpose of request, description of proposed uses, and other pertinent information. **Note: It is to your benefit to be as specific as possible with your application information.**
4. Letter of authorization if landowner is being represented by another party.
5. Submit a plot plan of parcel showing location of project in relation to property lines and any existing structures/improvements (roads, parking areas, etc.) on the property as well as all proposed structures/improvements (may wish to make separate maps). NOTE: An Assessor Plat Map can be obtained from the Surveying and Engineering Department (810 Court Street, Jackson, CA) for the purpose of aiding in drawing of the plot plan. (SEE TPM 2903)
6. Copy of deed(s) to property.
7. Completed Environmental Information Form and Indemnification Agreement.
8. Filing fee of \$ _____ (see attached schedule of fees).
9. Application Form to be signed at the time of project presentation in the Planning Department.

PARCEL MAP No. 2845 BOUNDARY LINE ADJUSTMENT

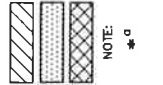
for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
dated August 20, 2003
20030015687 and 20090004646

and
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391
BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA



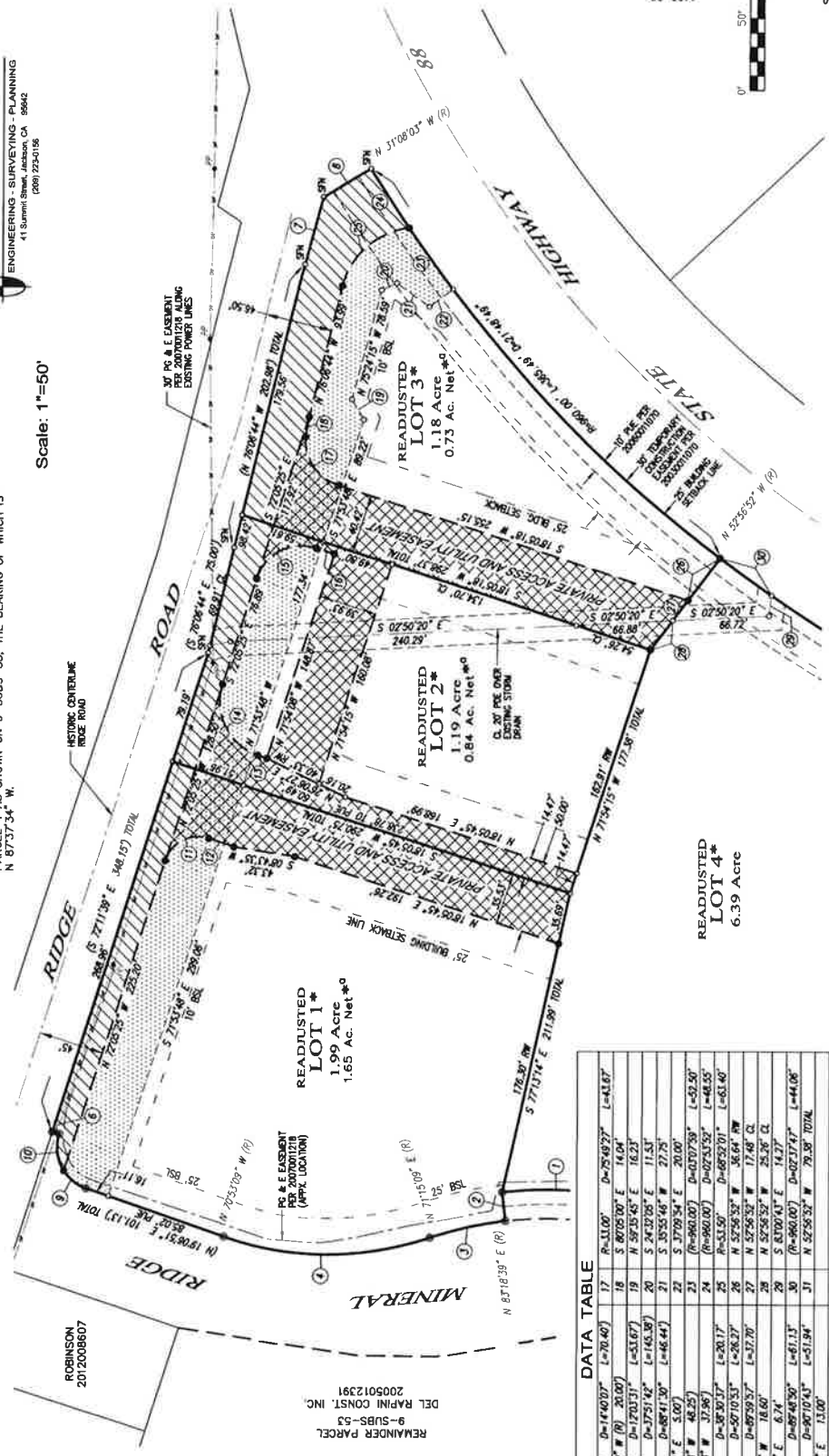
June, 2014

NOTE:
*o DENOTES ACCESS AND PUBLIC UTILITY EASEMENT AREA ALONG RIDGE ROAD TO BE DEDICATED TO AMADOR COUNTY EASEMENT TO BE DEDICATED TO AMADOR COUNTY
* DENOTES PRIVATE ACCESS AND UTILITY EASEMENT AREA
SEE SHEET 2 FOR EXCEPTIONS AND EASEMENT INFORMATION
*o NET AREA IS GROSS AREA LESS PUBLIC/PRIVATE ACCESS EASEMENT AREAS ONLY. PUBLIC UTILITY/FACILITIES EASEMENT AREA IS NOT INCLUDED.
* ANY REWORKMENT OVER 20,000 SQUARE FEET OR GENERATING MORE THAN 1507 TRIPS PER DAY CUMULATIVELY FOR THE PARCEL SHALL BE SUBJECT TO AN EVALUATION TO DETERMINE FAIR SHARE CONTRIBUTION FOR MITIGATION OF IMPACTS TO THE INTERSECTION OF RIDGE ROAD AND STATE HIGHWAY 88 (CONDITION No. 8 OF PNE GROVE SHOPPING CENTER ZONE CHANGE MITIGATION MEASURES).
BASIS OF BEARINGS IS REFERRED TO THE SOUTH LINE OF READJUSTED PARCEL 4 AS SHOWN ON 9-SUBS-53, THE BEARING OF WHICH IS N 87°37'34" W.



NOTES and LEGEND
 --- 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 SET ON THIS SURVEY
 --- 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 PER 9-SUBS-53
 --- 5/8" STEEL ROD TAGGED LS 3570 PER 9-SUBS-53 AND/OR 42-M-70
 --- 2" IRON PIPE AT SECTION CORNER PER 9-SUBS-55, 52-M-87 AND 42-M-70
 --- DENOTES A CALCULATED POINT ONLY, NOTHING FOUND OR SET
 --- DENOTES OVERHEAD POWER LINES
 --- DENOTES RECORD DATA PER 9-SUBS-53
 --- DENOTES CENTERLINE OR DISTANCE TO CENTERLINE
 --- DENOTES RIGHT-OF-WAY OR DISTANCE TO RIGHT-OF-WAY
 --- DENOTES PUBLIC UTILITY EASEMENT OR DISTANCE TO PUBLIC UTILITY EASEMENT
 --- DENOTES PRIVATE STORM DRAIN EASEMENT
 --- DENOTES SEARCHED FOUND NOTHING
 --- DENOTES BUILDING SETBACK LINE

Scale: 1"=50'



Station	Bearing	Distance	Angle	Distance	Angle		
1	R=225.00°	D=14.007'	L=70.40°	17	R=31.00°	D=75.4827'	L=43.87°
2	S=87.183°	W=1.200'		18	S=87.020°	E=14.04'	
3	R=255.00°	D=120.31'	L=53.87°	19	N=52.345°	E=16.23'	
4	R=20.00°	D=175.142'	L=145.30°	20	S=74.328°	E=11.51'	
5	R=30.00°	D=88.413°	L=46.44°	21	S=35.554°	W=27.75'	
6	N=17.482°	E=5.00'		22	S=37.095°	E=20.00'	
7	N=74.526°	W=48.25'		23	R=86.00°	D=0.0739'	L=52.50°
8	N=31.080°	W=37.96'		24	R=86.00°	D=0.2345'	L=48.55°
9	R=30.00°	D=50.1053'	L=28.37°	25	R=53.50°	D=6.6520'	L=61.40°
10	R=24.00°	D=87.5957'	L=37.70°	26	N=52.563°	W=36.64'	
11	S=17.543°	E=18.60'		27	N=52.563°	W=36.64'	
12	S=17.543°	E=18.60'		28	S=8.100°	E=14.37'	
13	N=18.054°	E=6.74'		29	S=8.100°	E=14.37'	
14	R=30.00°	D=89.4830'	L=61.13°	30	R=86.00°	D=0.2345'	L=44.08°
15	R=33.00°	D=90.1043'	L=51.94°	31	N=52.563°	W=36.64'	
16	N=18.054°	E=13.00'					

SHEET 3 OF 3 SHEETS

PARCEL MAP No. 2845 BOUNDARY LINE ADJUSTMENT

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
udt dated August 20, 2003
20030015687 and 20090004646
and
a n d
DEL RAPINI CONSTRUCTION, INC.
a California Corporation
20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA



June, 2014

Scale: 1"=100'

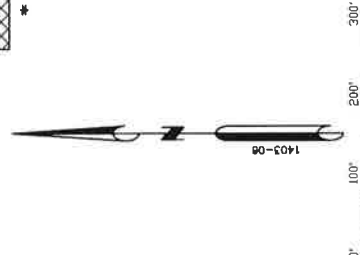
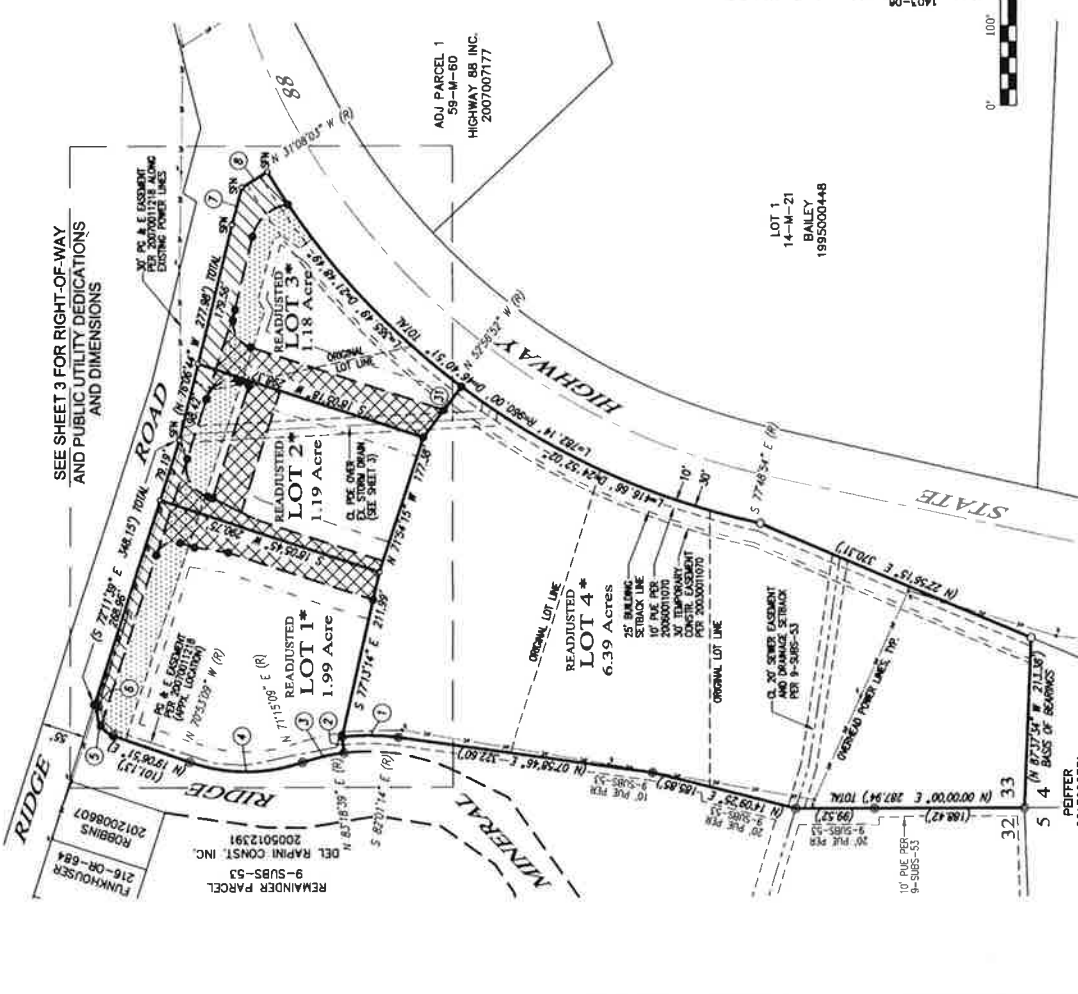
NOTES and LEGEND

- DENOTES 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 SET ON THIS SURVEY
- DENOTES FOUND 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 PER 9-SUBS-53
- DENOTES FOUND 5/8" STEEL ROD TAGGED LS 3570 PER 9-SUBS-53 AND/OR 42-M-70
- DENOTES FOUND 2" IRON PIPE AT SECTION CORNER PER 9-SUBS-55, 52-M-87 AND 42-M-70
- DENOTES A CALCULATED POINT ONLY, NOTHING FOUND OR SET
- DENOTES OVERHEAD POWER LINES
- () DENOTES RECORD DATA PER 9-SUBS-53
- CL DENOTES CENTERLINE OR DISTANCE TO CENTERLINE
- RW DENOTES RIGHT-OF-WAY OR DISTANCE TO RIGHT-OF-WAY
- PUE DENOTES PUBLIC UTILITY EASEMENT OR DISTANCE TO PUBLIC UTILITY EASEMENT
- PDE DENOTES PRIVATE STORM DRAIN EASEMENT
- SFN DENOTES SEARCHED FOUND NOTHING
- BSL DENOTES BUILDING SETBACK LINE
- [Hatched Box] DENOTES ACCESS AND PUBLIC UTILITY EASEMENT AREA ALONG RIDGE ROAD TO BE DEDICATED TO AMADOR COUNTY (SEE SHEET 3)
- [Dotted Box] DENOTES PUBLIC UTILITY EASEMENT AND PUBLIC FACILITIES EASEMENT TO BE DEDICATED TO AMADOR COUNTY (SEE SHEET 3)
- [Cross-hatched Box] DENOTES PRIVATE ACCESS AND UTILITY EASEMENT AREA (SEE SHEET 3)
- * ANY DEVELOPMENT OVER 22,000 SQUARE FEET OR GENERATING MORE THAN 1567 TRIPS PER DAY CUMULATIVELY FOR THE PARCELS ON THIS MAP WILL REQUIRE FURTHER EVALUATION TO DETERMINE FAIR SHARE CONTRIBUTION FOR MITIGATION OF IMPACTS TO THE INTERSECTION OF RIDGE ROAD AND STATE HIGHWAY 88 (CONDITION NO. 8 OF PINE GROVE SHOPPING CENTER ZONE CHANGE MITIGATION MEASURES).

BASIS OF BEARINGS IS REFERRED TO THE SOUTH LINE OF READJUSTED PARCEL 4 AS SHOWN ON 9-SUBS-53, THE BEARING OF WHICH IS N 87°37'34" W.

Circle	DATA TABLE
1	(R=275.00' D=146.00' L=70.40') 17
2	(S 87°18'59" W (0) 20.00') 18
3	(S 87°05'00" E 14.04' 19
4	(R=255.00' D=170.00' L=53.67') 20
5	(R=250.00' D=175.14' L=145.30') 21
6	(R=50.00' D=85.41' L=46.44') 22
7	(N 17°49'21" E 5.00') 23
8	(N 74°52'28" W 48.25') 24
9	(N 31°08'03" W 37.96') 25
10	(R=30.00' D=35.30' L=26.17') 26
11	(R=30.00' D=50.00' L=28.27') 27
12	(R=24.00' D=65.53' L=37.70') 28
13	(N 18°05'45" E 6.74' 29
14	(R=39.00' D=89.48' L=61.13') 30
15	(R=33.00' D=87.07' L=51.94') 31
16	(N 18°05'18" E 11.00' 32

THE FOLLOWING EXCEPTIONS WERE NOTED IN PRELIMINARY REPORT ORDER No. 404-10921 DATED JANUARY 16, 2014, 9006-2159, 9006-2160 AND 9006-2161 DATED MAY 12, 2014 PREPARED BY PLACER TITLE COMPANY AS AFFECTING THIS PROPERTY:
2-PAIS-469
US PATENT DATED 1-05-1882, AND INCIDENTALS PER DEED FROM AHARTY TO GOLD TOP MINE COMPANY
EASEMENTS, DEDICATIONS, AND INCIDENTALS PERTAINING TO PETERSON SUBDIVISION
4-M-5
PG & E EASEMENT
51-05E05-118
42-M-70
EASEMENTS, NOTES AND RECTALS PERTAINING TO MAP
2096001070
PUE AND TEMPORARY CONSTRUCTION EASEMENT
2007001218
ELECTRICAL EASEMENT AND ACCESS EASEMENT
9-SUBS-53
DEDICATIONS, ACCESS EASEMENTS, PUE'S, DRAINAGE AND BSL'S, RW MAINTENANCE AND INCIDENTALS





PLANNING DEPARTMENT
Community Development Agency

County Administration Center
810 Court Street ■ Jackson, CA 95642-2132
Telephone: (209) 223-6380
Website: www.amadorgov.org
E-mail: planning@amadorgov.org

APPLICATION PROCEDURE FOR USE PERMIT

A Public Hearing before the Planning Commission will be scheduled after the following information has been completed and submitted to the Planning Department Office:

1. Complete the following:

Name of Applicant Apex Energy Solutions, LLC

Mailing Address 604 Sutter Street, Suite 250, Folsom, CA 95630

Cedar 1 Battery

Phone Number 916-985-9461

Assessor Parcel Number 030-740-022

Use Permit Applied For:

- Private Academic School
- Private Nonprofit Recreational Facility
- Public Building and Use(s)
- Airport, Heliport
- Cemetery
- Radio, Television Transmission Tower
- Club, Lodge, Fraternal Organization
- Dump, Garbage Disposal Site
- Church
- OTHER Battery Energy Storage Facility

2. Attach a letter explaining the purpose and need for the Use Permit.

3. Attach a copy of the deed of the property (can be obtained from the County Recorder's Office).

4. If Applicant is not the property owner, a consent letter must be attached.

5. Assessor Plat Map (can be obtained from the County Surveyor's Office).

6. Plot Plan (no larger than 11" X 17") of parcel showing location of request in relation to property lines, road easements, other structures, etc. (see Plot Plan Guidelines). Larger map(s) or plans may be submitted if a photo reduction is provided for notices, Staff Reports, etc. The need is for easy, mass reproduction.

7. Planning Department Filing Fee: \$ 1829

Environmental Health Review Fee: \$ _____

Public Works Agency Review Fee: \$ _____

Amador Fire Protection District Fee: \$ _____

8. Complete an Environmental Information Form.

9. Sign Indemnification Form.

MEMORANDUM

Date: October 26, 2021

From: Anika Larson, Project Manager, Apex Energy Solutions, LLC.

To: Krista Ruesel, Amador County Planning Department

Re: Purpose Letter – Cedar 1 Battery Project

Dear Krista,

In effort to reduce greenhouse gas (GHG) emission and expand the availability of alternative energy resources locally and regionally, the project proponent/applicant, Apex Energy Solutions, LLC. is proposing to develop the Cedar 1 Battery Project (Project), an up to ten (10)- megawatt alternating current (MWAC)/ forty (40)-megawatt hour (MWh) Battery Energy Storage System (BESS or ESS) facility on approximately two and one half (2.5) undeveloped acres, in the unincorporated region of Amador County, California on APN 030-740-022.

The applicant is requesting County of Amador (“County”) review and approval of a Conditional Use Permit (CUP) for the construction of a battery energy storage facility. The project would be constructed in one (1) phase that would be built over an up to six (6) month period and is anticipated to operate for a period of up to 30 years. After the 30-year project service life, the project would be decommissioned, and the project site returned to its pre-project condition. The BESS structures would not be designated for permanent occupancy and the equipment will be serviced on in intermittent basis by technicians.

The project parcel has a General Plan designation of TC (Local Service Center) and is zoned C2 (Heavy Commercial). According to Table 2-1 in Section 18.10.020 of the Amador County Development Ordinance, “Energy Generation Facilities, Wind Farms, Biomass Fuel Manufacturing (off-site energy use)” are allowed uses with a Conditional Use Permit (CUP). As such, battery storage facilities are allowed in this zone with an approved Conditional Use Permit through the Amador County Planning and Community Development Department. Therefore, this Conditional use Permit application is being filed for consideration by the Planning Commission.

X

Anika Larson
Project Manager

MEMORANDUM

Date: October 18, 2021

From: Anika Larson, Project Manager, Apex Energy Solutions, LLC.

To: Krista Ruesel, Amador County Planning Department

Re: Consent Letter – Cedar 1 Battery Project

Dear Krista,

Regarding APN: 030-740-022 located in Amador County, I, Del Rapini Construction, Inc., owner of the property, hereby grant authority to Apex Energy Solutions, LLC to access and submit materials required for permitting and development of the Cedar Energy Storage Project.

X

Sign & Date: Del Rapini

ENVIRONMENTAL INFORMATION FORM

To be completed by applicant; use additional sheets as necessary.
Attach plans, diagrams, etc. as appropriate.

GENERAL INFORMATION

Project Name: Cedar 1 Battery Project

Date Filed: _____ File No. _____

Applicant/

Developer Apex Energy Solutions, LLC Landowner Del Rapini Construction Inc./Rapini Delbert E SP Trust

Address 604 Sutter Street, Suite 250, Folsom, CA 95630 Address 5701 Olive Ranch Rd, Granite Bay, CA 95746

Phone No. 916-985-9461 Phone No. _____

Assessor Parcel Number(s) 030-740-022

Existing Zoning District C2

Existing General Plan TC

List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state, and federal agencies Grading Permit, Building Permit, Dust Control Plan,

Encroachment Permit, General Construction Storm Water Permit Notice of Intent, Storm Water Pollution Prevention Plan

WRITTEN PROJECT DESCRIPTION (Include the following information where applicable, as well as any other pertinent information to describe the proposed project):

1. Site Size
2. Square Footage of Existing/Proposed Structures
3. Number of Floors of Construction
4. Amount of Off-street Parking Provided (provide accurate detailed parking plan)
5. Source of Water
6. Method of Sewage Disposal
7. Attach Plans
8. Proposed Scheduling of Project Construction
9. If project to be developed in phases, describe anticipated incremental development.
10. Associated Projects
11. Subdivision/Land Division Projects: Tentative map will be sufficient unless you feel additional information is needed or the County requests further details.
12. Residential Projects: Include the number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected.
13. Commercial Projects: Indicate the type of business, number of employees, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities.
14. Industrial Projects: Indicate type, estimated employment per shift, and loading facilities.
15. Institutional Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project.
16. If the project involves a variance, conditional use permit, or rezoning application, state this and indicate clearly why the application is required.

ADDITIONAL INFORMATION Are the following items applicable to the project or its effects? Discuss below all items checked "yes" (attach additional sheets as necessary).

YES NO


- | | | |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17. Change in existing features or any lakes or hills, or substantial alteration of ground contours. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 18. Change in scenic views or vistas from existing residential areas, public lands, or roads. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 19. Change in pattern, scale, or character of general area of project. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 20. Significant amounts of solid waste or litter. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 21. Change in dust, ash, smoke, fumes, or odors in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 22. Change in lake, stream, or ground water quality or quantity, or alteration of existing drainage patterns. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 23. Substantial change in existing noise or vibration levels in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Site on filled land or has slopes of 10 percent or more. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 27. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 28. Does this project have a relationship to a larger project or series of projects? |

ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site (cannot be returned).
30. Describe the surrounding properties, including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity (cannot be returned).
31. Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc. Attach photographs of any of these known features (cannot be returned).

Certification: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date 10/27/2021


 (Signature)
 For Apex Energy Solutions, LLC

Environmental Information Form: Additional Information

18. The project is located along Highway 88 and Ridge Road, directly behind a Dollar General. A security fence will be placed around the project area and screens can be applied to reduce the visual impacts from the roadway.

25. Lithium-Ion batteries contain potentially hazardous materials but are completely contained within the containers. Fire Safety information for the batteries is included in this application describing the several safety precautions instilled in the battery containers.

29. The project site is vacant with a flat topography. There are some internal dirt "roads" throughout the property. Most of the site, the northern end, is virtually stripped of vegetation and is therefore not appropriate habitat for any local wildlife. The southern end of the site is lightly forested and will therefore not be used for the project. A cultural report can be found in this application, no significant findings were made.

30. The surrounding properties are further discussed in the project description.

31. There are no known mine shafts, tunnels, air shafts, open hazardous excavations or similar on the project site.

PARCEL MAP NO. 2845 BOUNDARY LINE ADJUSTMENT

OWNER'S CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THEY ARE THE OWNERS OF REAL PROPERTY SHOWN HEREON AND HEREBY CONSENT TO THE PREPARATION AND RECORRING OF THIS MAP AND IN CONSIDERATION FOR AND AS A CONDITION OF THE APPROVAL OF SAID MAP THEY DO HEREBY:

- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE EASEMENTS FOR USE AS A PUBLIC HIGHWAY OVER EACH AND EVERY CONVENIENCE EASEMENT DESIGNATED AS "ACCESS AND PUBLIC UTILITY EASEMENT", AND "EDGE ROAD" AND
- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE AS A PUBLIC UTILITY EASEMENT IN, ON, OVER, ABOVE OR UNDER EACH AND EVERY PART OF SAID SUBDIVISION DESIGNATED ON THIS MAP AS A "ROAD AND UTILITY EASEMENT" AND TO GRANT TO THE PUBLIC ANY AND ALL ACCESS EASEMENTS AND ON, OVER, ACROSS AND THROUGH THOSE STRIPS OF ACCESS EASEMENT EACH OF SAID SIDE LOT LINES AND REAR LOT LINES AND TEN FEET ALONG THE EXTERIOR BOUNDARIES OF THIS SUBDIVISION AND FRONT LOT LINES, AN EASEMENT FOR SAID COUNTY OR ITS DESIGNEES AT ANY TIME, OR FROM TIME TO TIME, TO ENTER, CONSTRUCT, MAINTAIN, OPERATE, REPLACE, RENEW, ENLARGE AND PROTECT FROM DESTRUCTION ANY STORM DRAINS, LINES OR PIPES, CONDUITS, CABLES, WELLS, AND WELLS AND WELLS, AND TO REPAIR, REPAIR, REPAIR, REPAIR, TO CONNECT ANY PUBLIC UTILITY SERVICE TO ANY PARCEL OR LOT INSIDE OR OUTSIDE OF SAID SUBDIVISION AND/OR TO ANY MAIN OR TRUNK LINE OR SYSTEM, AND
- PROMISE, COVENANT AND AGREE TO AND WITH SAID COUNTY TO GRANT OR RESERVE A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER ALL THAT PORTION OF SAID PARCEL OR LOT WHICH IS NECESSARY FOR ACCESS EASEMENT TO THE RECORD OWNERS OF EACH OF SAID PARCELS AND LOTS, AND SAID LOTS ARE SOLD OR FEE TITLE CONVEYED AND THAT NONE OF SAID LOTS SHALL BE LEASED, SOLD OR CONVEYED UNLESS SUCH NON-EXCLUSIVE EASEMENT FOR ROAD PURPOSES AND INGRESS AND EGRESS IS GRANTED OR RESERVED PRIOR TO OR CONCURRENT WITH SAID CONVEYANCE OR SALE (UNLESS SAID PORTION OF LAND HAS BEEN DEDICATED TO AND ACCEPTED BY SAID COUNTY AS A PUBLIC HIGHWAY) SO AS TO PROVIDE ACCESS FOR SAID OWNERS AND THEIR AGENTS, EMPLOYEES, INVITEES AND LICENSEES BETWEEN AND AMONG ALL OF SAID PARCELS OR LOTS WITHIN SAID SUBDIVISION; AND
- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE EASEMENTS FOR RIGHT-OF-WAY AND UTILITY MAINTENANCE FIVE FEET WIDE OUTSIDE OF AND CONTIGUOUS TO ALL CUT AND FILL SLOPES OF ALL ROADS AND TO ANY AND ALL EASEMENTS DESIGNATED AS "ACCESS AND PUBLIC UTILITY EASEMENT" OR OTHER AUTHORITY'S PERFORMING ALL NECESSARY WORK TO PROVIDE ACCESS TO ROADWAY AND MAINTAIN THE SLOPES. THE PORTIONS HEREON COVERED BY SAID EASEMENTS SHALL BE KEPT CLEAR.

SAID OFFERS TO DEDICATE AND AGREEMENTS AND COVENANTS ARE IRREVOCABLE AND SHALL RUN WITH THE LAND AND BE BINDING ON THE UNDERSIGNED, THEIR HEIRS, SUCCESSORS, HEIRS OR ASSIGNS AND SHALL CONTINUE IN FULL FORCE AND EFFECT UNLESS FULLY ABANDONED AND TERMINATED BY THE BOARD OF SUPERVISORS OF SAID COUNTY, SAID BOARD, IN RECEIVING ANY AND ALL OF SAID OFFERS TO DEDICATE, SHALL RETAIN THE RIGHT TO ACCEPT BY RESOLUTION ANY OR ALL OF SAID OFFERS AT ANY TIME HEREAFTER.

Delbert E. Rapini
 DELBERT E. RAPINI, Trustee of the
 Separate Property Trust
 Trust utt dated August 20, 2003

Delbert E. Rapini
 DELBERT E. RAPINI, Trustee of the
 Separate Property Trust
 Trust utt dated August 20, 2003

SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF DELBERT E. RAPINI IN MAY OF 2014. HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: July 1, 2014



Ciro L. Toma
 CIRO L. TOMA
 P.L.S. 3570
 MY LICENSE EXPIRES 6-30-2016

COUNTY SURVEYOR'S STATEMENT

I HAVE EXAMINED THIS PARCEL MAP. THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF ANY, AND ANY ALTERATIONS THEREON. ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF ANY, HAVE BEEN COMPLIED WITH. I AM SATISFIED THE MAP IS TECHNICALLY CORRECT.

DATE: July 15, 2014



George E. Allen
 GEORGE E. ALLEN
 L.S. 4951
 AMADOR COUNTY SURVEYOR
 MY LICENSE EXPIRES 12-31-2016

PLANNING DEPARTMENT STATEMENT

I HAVE EXAMINED PARCEL MAP No. 2845 AND HAVE VERIFIED THAT IT IS SUBSTANTIALLY THE SAME AS THE APPLICATION APPROVED BY THIS DEPARTMENT AND CONFORMS TO THE LOCAL GENERAL PLAN, ANY APPLICABLE SPECIFIC PLAN AND ZONING.

DATE: July 14, 2014

Susan C. Gralava
 SUSAN C. GRALAVA
 AMADOR COUNTY PLANNING DIRECTOR

RECORDER'S STATEMENT

FILED THIS 17th DAY OF AUGUST 2014 AT 10:00 A.M. IN THE OFFICE OF THE AMADOR COUNTY CLERK OF MAPS AND PLATS AT PAGE 12 AT THE REQUEST OF DELBERT E. RAPINI AND INCLUDED IN THIS PARCEL MAP BEING VESTED AS PER CERTIFICATE No. 11102 ON FILE IN THIS OFFICE.

FEE: \$20.00 pd. filed
 INSTRUMENT NO.: 2014-0005201

Kimberly L. Grady
 KIMBERLY L. GRADY, BY: E. L. Sobey
 DEPUTY
 AMADOR COUNTY RECORDER

for
DELBERT E. RAPINI
 Trustee of the Delbert E. Rapini 2003 Separate Property Trust
 utt dated August 20, 2003
 200300115687 and 20090004646
 o n d
DEL RAPINI CONSTRUCTION, INC.,
 a California Corporation
 20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
 COUNTY OF AMADOR, STATE OF CALIFORNIA



June, 2014

CLERK OF THE BOARD OF SUPERVISORS' CERTIFICATE

I, JENNIFER BURNS, HEREBY CERTIFY THAT I AM THE CLERK OF THE BOARD OF SUPERVISORS OF AMADOR COUNTY, CALIFORNIA, AND THAT THE BOARD, BEING THE PROPER APPROVING BODY, HAS ACCEPTED PARCEL MAP No. 2845 AND ACCEPTS ON BEHALF OF THE PUBLIC ALL LANDS AND EASEMENTS SHOWN HEREON AND OFFERED FOR DEDICATION FOR LIGHT, AIR AND PUBLIC UTILITY PURPOSES.

THE BOARD, AT THIS TIME, REJECTS ALL OTHER OFFERS OF DEDICATION, INCLUDING ROAD OR ACCESS EASEMENTS, APPEARING ON THIS MAP. SUCH OFFERS MAY BE ACCEPTED BY RESOLUTION OF SAID BOARD AT ANY TIME HEREAFTER.

DATE: July 24, 2014

Jennifer Burns
 JENNIFER BURNS
 CLERK OF THE BOARD OF SUPERVISORS
 BY: _____ DEPUTY

NOTARY'S STATEMENT

STATE OF CALIFORNIA
 COUNTY OF AMADOR
 ON July 8, 2014 BEFORE ME MARSHA HAMM NOTARY PUBLIC,
 PERSONALLY APPEARED DELBERT E. RAPINI and
 WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HIS/HER SIGNATURE(S) ON THE INSTRUMENT WERE HIS/HER AUTHORIZED CAPACITY(IES) AND THAT BY WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

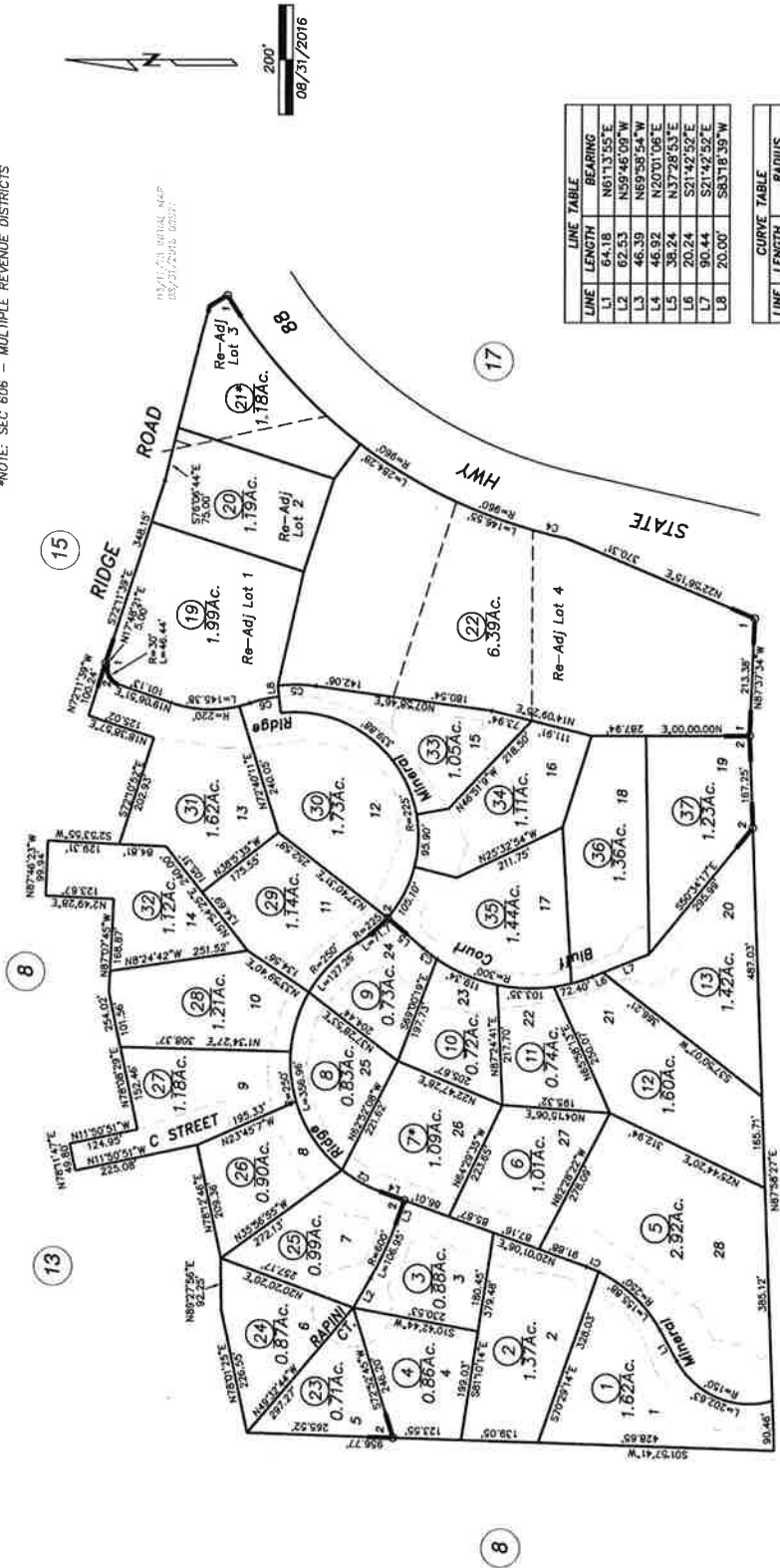
I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

SIGNATURE: Marsha Hamm NAME: MARSHA HAMM
 COUNTY: Amador COMM. EXP: 6/26/15

POR. SEC. 32 & 33 T.7N., R.12E., M.D.B. & M. TAX AREA CODE 30-74

52-087
52-011

*NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'09"W
L3	46.39	N69°58'54"W
L4	46.92	N20°01'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00	S83°18'39"W

CURVE	LENGTH	RADIUS
C1	23.95	250.00
C2	79.89	250.00
C3	31.83	300.00
C4	65.52	960.00
C5	70.40	275.00
C6	53.67	255.00

38
1

Map changes became effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in it's deed, is property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (5/19/2008) Pine Grove Bluffs
- 1- R.M.Bk.64, Pg.13 (08/07/14)
- 2- R.M.Bk. 9, Sub.Pg.71 (02/04/16) PINE GROVE BLUFFS PHASE 2

37

Assessor's Map Bk. 30, Pg. 74
County of Amador, Calif.

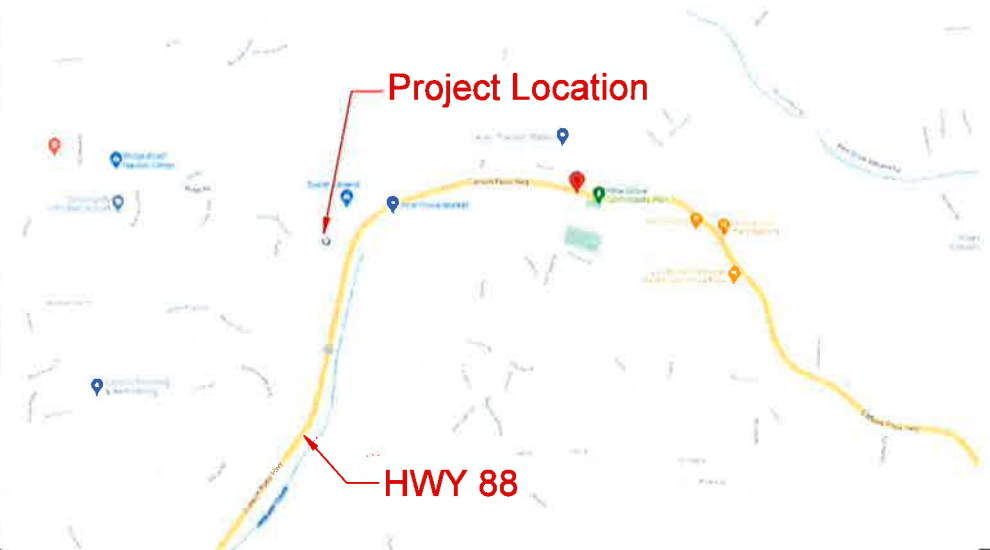
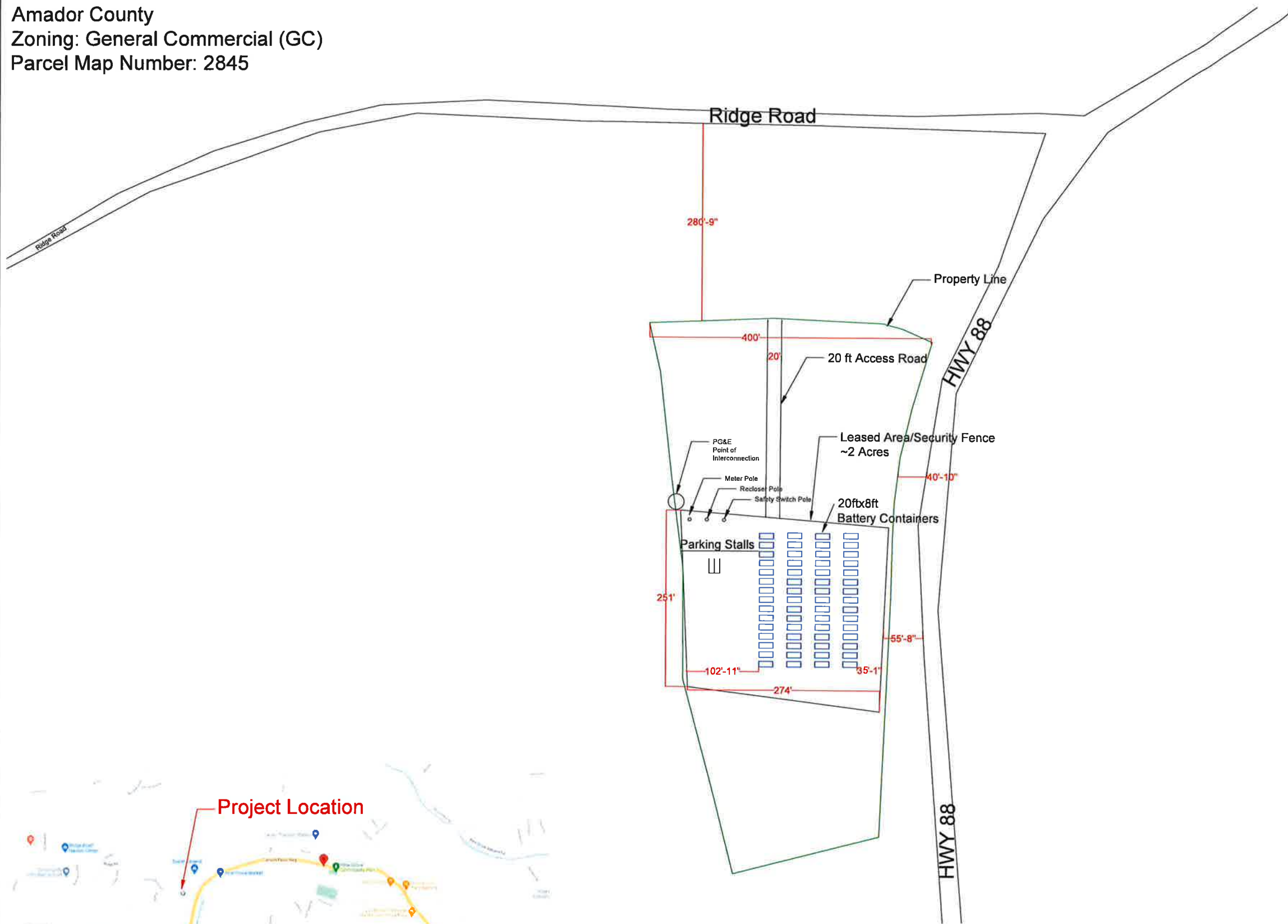
NOTE--Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

Project: Cedar 1 Battery Storage
 Applicant: Apex Energy Solutions LLC
 APN:030-740-022
 Amador County
 Zoning: General Commercial (GC)
 Parcel Map Number: 2845

**CEDAR 1
 BATTERY PROJECT**

CONFIDENTIAL DOCUMENTS
 THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

REV.	BY	DESCRIPTION	DATE	APPROV BY
0	OI	SUBMITTAL #1	10/20/21	



1 inch
 Scale to Confirm 24"x36" Plot



604 SUTTER ST, STE 250
 FOLSOM, CA 95630
 Phone : 916.985.9461
 Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

SHEET TITLE:
SITE MAP

DRAWN BY:	OI	DRAWING No.	
CHECKED:		AS NOTED	PS-000
SCALE:			
JOB NO:			
DATE:		REV No.	1

Project: Cedar 1 Battery Storage
 Applicant: Apex Energy Solutions LLC
 APN:030-740-022
 Amador County
 Zoning: General Commercial (GC)
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**CEDAR 1
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REV.	BY	DESCRIPTION	DATE	APPROVED BY
0	01	SUBMITTAL #1	10/20/21	



1 inch
 Scale to Confirm 24"x36" Plot

Apex Energy SOLUTIONS

604 SUTTER ST, STE 250
 FOLSOM, CA 95630
 Phone : 916.985.9461
 Fax: 916.985.9467

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SHEET TITLE:

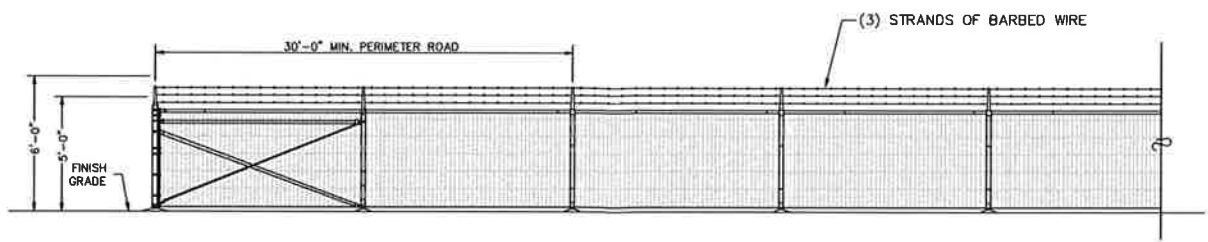
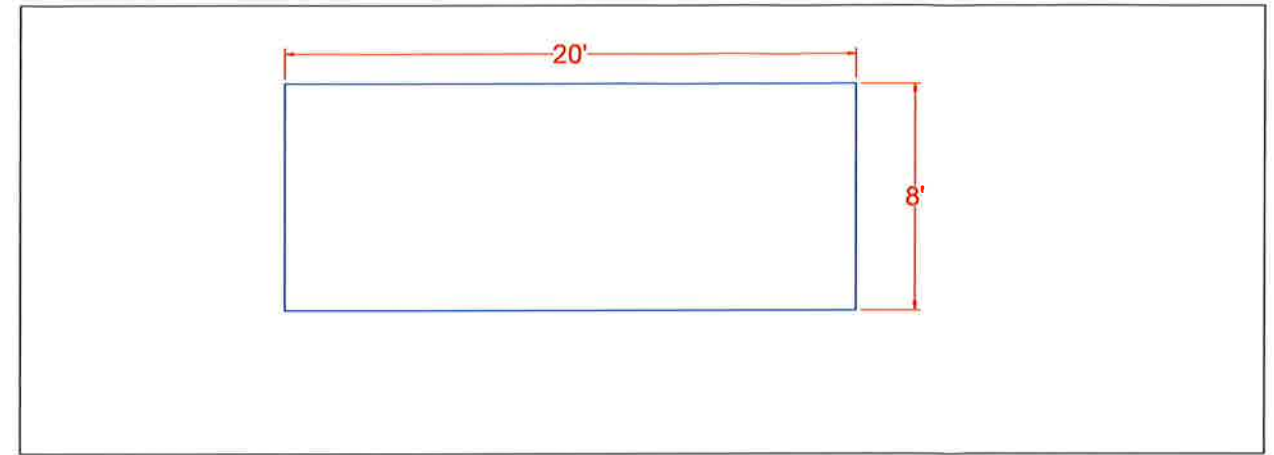
SITE MAP

DRAWN BY:	01	DRAWING No.	
CHECKED:		SCALE:	AS NOTED
JOB NO.			PS-000
DATE:		REV No.	1

CEDAR 1 BATTERY PROJECT

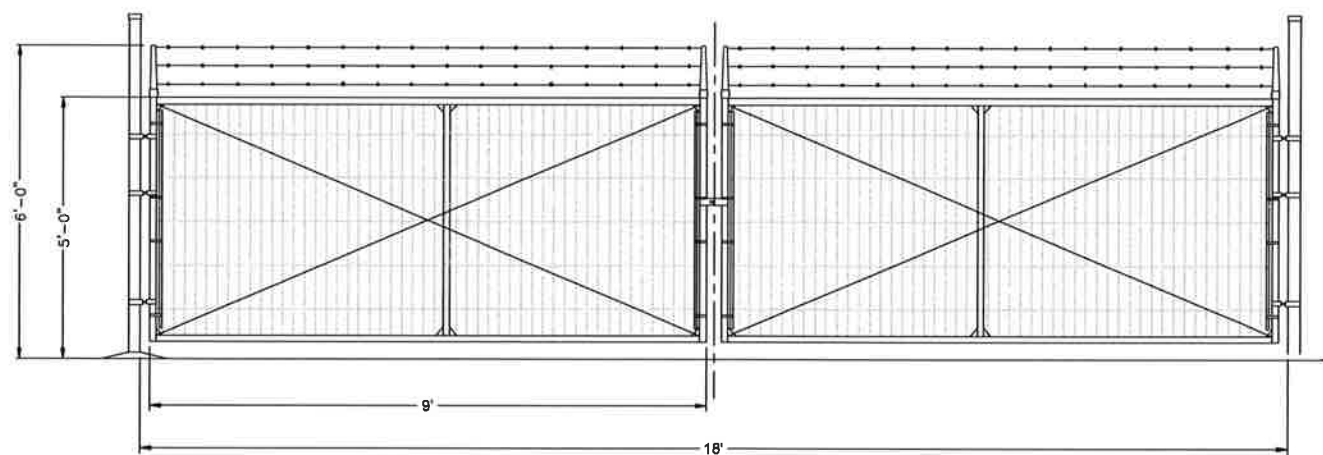
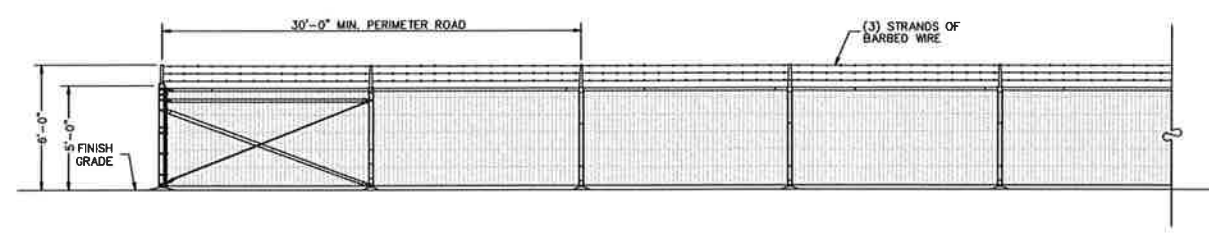
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REV.	BY	DESCRIPTION	DATE	APPROV BY
0	CI	SUBMITTAL #1	10/20/21	



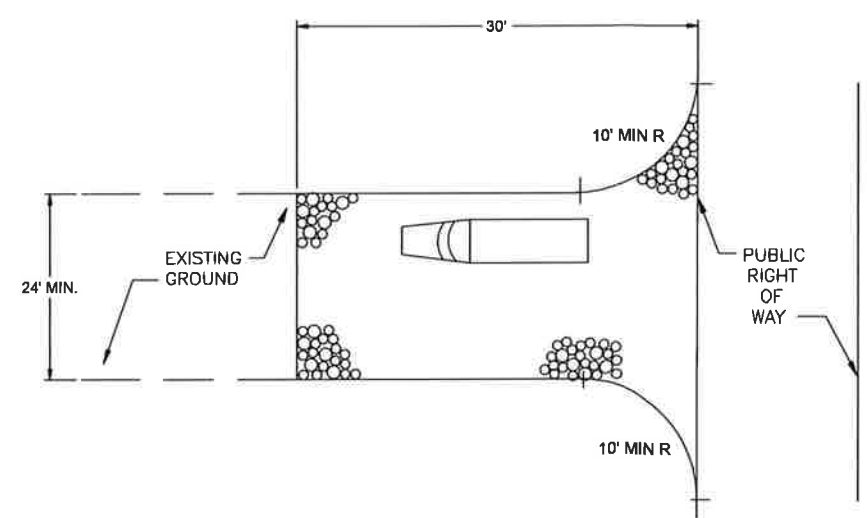
1 BATTERY CONTAINER
N.T.S.

2 EAST OR WEST PERIMETER ELEVATION, TYP.
N.T.S.



3 NORTH OR SOUTH PERIMETER ELEVATION, TYP.
N.T.S.

4 BI-DIRECTIONAL GATE ELEVATION
N.T.S.



5 SITE ENTRANCE (PLAN VIEW)
N.T.S.

1 inch
Scale to Conform 24"x36" Plot



604 SUTTER ST, STE 250
 FOLSOM, CA 95630
 Phone : 916.985.9461
 Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

SHEET TITLE: MECHANICAL DETAILS

DRAWN BY:	CI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED		
JOB NO.			
DATE:		REV No.	1

CEDAR 1 BATTERY PROJECT

CONFIDENTIAL DOCUMENTS
THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

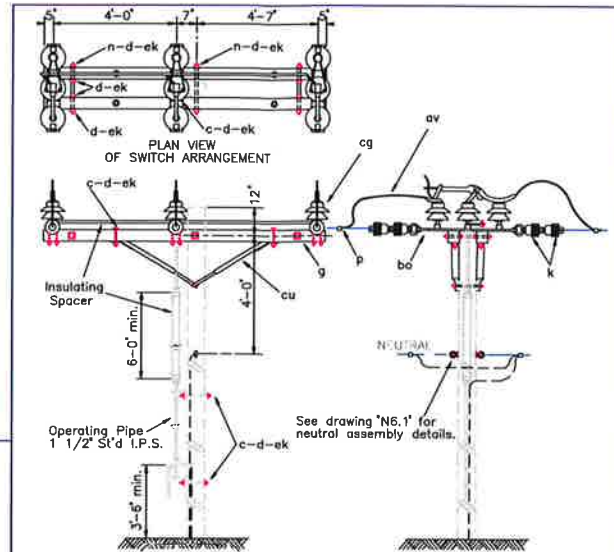
REV.	BY	DESCRIPTION	DATE	APPROV BY
0	CI	SUBMITTAL #1	10/20/21	

TO PG&E 12 KV DISTRIBUTION LINE

POLE #1- METERING

POLE #2- DISCONNECT

POLE #3- PROTECTION



OPERATING PIPE 1 1/2" S/D I.P.S.

See drawing 'N6.1' for neutral assembly details.

ITEM	QTY	MATERIAL	ITEM	QTY	MATERIAL
c	4	Bolt, machine, 1/2" x req'd length	oo	2	Nut, eye, 5/8"
c	15	Bolt, machine, 5/8" x req'd length	av	-	Jumpers, as required
d	4	Washer, round, 1 3/8"	bo	6	Shackle, anchor
d	4	Washer, square, 2 1/4"	cg	1	Switch, airbreak, group operated
d	2	Washer, square, 3"	cu	2	Brace, wood, 60" span
g	2	Crossarm, 3 5/8" x 4 5/8" x 10'-0"	ek	33	Locknuts
k	12	Insulator, suspension, 4 1/4"			
n	4	Bolt, double arm, 5/8" x req'd length			
p	-	Connectors, as required			

GROUP-OPERATED AIRBREAK SWITCH (THREE-PHASE)

POLE #2- DISCONNECT

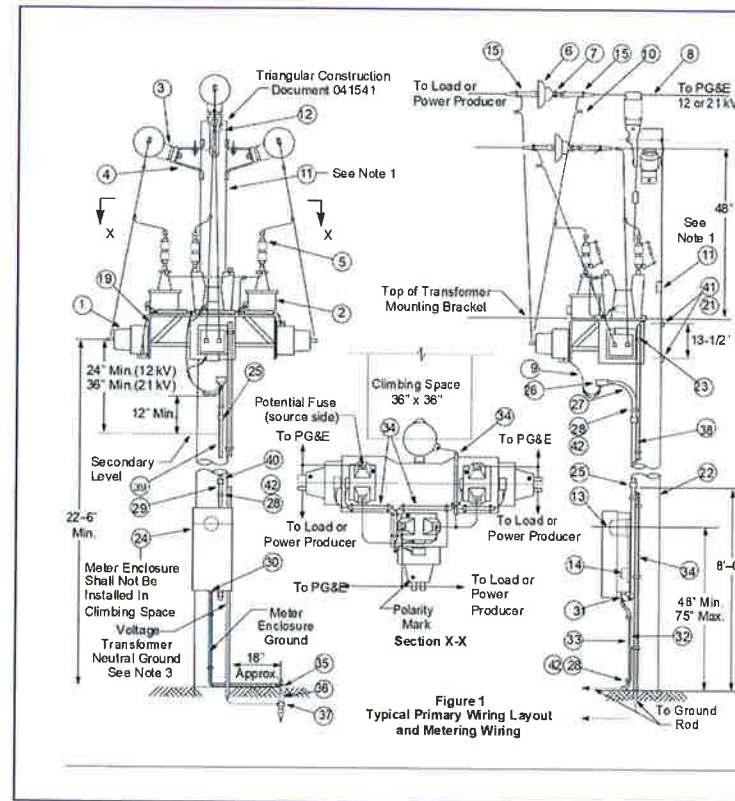


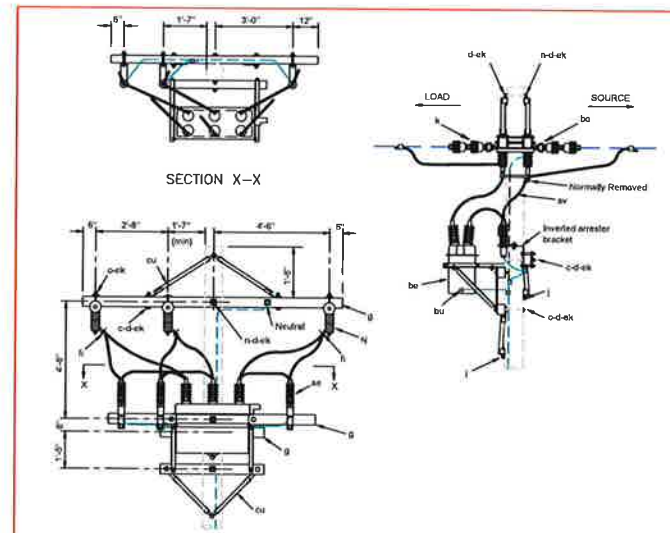
Table 1 List of Materials to Be Furnished and Installed by PG&E

Item	Description	Code	Document Number
1	Transformer, Current, Outdoor-Type (12 KV)		054340
2	Transformer, Potential, Outdoor-Type (12 KV)		044450
3	Insulator, Post-Type (12 KV)		015190
4	Bracket, Pole-Top, for Post Insulator		015225
5	Fuse, Bushing Mounted (12 KV)		180096
6	Insulator, Suspension, 7"		056428
7	Link, Strain, One Brass Catalog Number 70658		Spec. 26
8	Wire, Overhead (#4 AWG)		
9	Wire, Coded, Meter, #10, 600 V		
10	Lead Wire, Connectors (as required)		
11	High Voltage Signs	173338	015070
12	Bending Material (as required)		
13	Meter - watt-hour, without demand, etc. (By PG&E)		
14	Test Switch, Reset-Thrower (as required)		026237
15	Dead-End Attachment, for Aluminum, Document 020851, for Copper, Document 015218		
16	Guy Material (as required)		022178
17	Insulator Clearance Bracket, 1" Pin Thread, Code 101215, 1-3/8" Pin Thread, Code 101216		015190
18	Insulator, Pin Type (12 KV)		022088
19	Bracket, for Instrument Transformers (Aluma Form Catalog Number GPMM-6 or Barfield Manufacturing Catalog Number BAPMAG)		181068
20	Air Switch, Install per Document 033131		022635
21	Block Machine, 5/8" x Length (as required), With Squeeze Washer		068778

Table 1 List of Materials to Be Furnished by Customer

Item	Description	Code	Document Number
22	Pole, Wood, Fully Treated and PG&E Inspected		Spec. 57
23	Galv. Steel, Galvanized, 2-1/2" x 29-3/4" x 0.187"		197154
24	Meter Enclosure, Weatherproof (see Document 033984)		
25	Coupling, PVC, 1-1/4", Slip Fit, Sloane Catalog Number CG426 or Equivalent		360416
26	Elbow, Type LR, PVC, 1-1/4", Female, Slip Fit, Sloane Catalog Number LR40S or Equiv		360529
27	Bend, PVC, 1-1/4", 90°, R=5-3/4", Slip Fit, Schedule 80, Gray		360550
28	Strip, Pipe, Galvanized, Two-Hole (as required)		027577
29	Conduit, Rigid Steel, 1-1/4", Galvanized		360121
30	Conduit Filing, Threaded (for armor wire or steel conduit, Item 33)		
31	Conduit Filing, Threaded (for Item 29)		
32	Wire, Ground, #6 Minimum Copper, Bare		
33	Conduit, Rigid Steel, 1/2", Galvanized (for meter enclosure ground wire)		360118
34	Conduit, Rigid PVC, 1/2", Schedule 40 With Coupling, 10' Lengths		360358
35	Conduit Grounding Hub and Clamp, (for conduit, Thomas & Betts catalog number 3932 or equivalent for armor, Thomas & Betts catalog number 3983, or equivalent)		
36	Rod, Ground, 3/8" x 8'-0", Copper Covered Steel Rod		187011
37	Clamp, Ground Rod		187012
38	Wire, Ground, PT Neutral, #6 Minimum Bare Copper		290013
39	Conduit, Rigid PVC, 1-1/4", Schedule 80, Gray		360420
40	Adapter, Female, PVC, 1-1/4" Thread to Slip Fit Sloane Catalog Number FA1303 (or equivalent)		360531
41	Cover, Insulating	14904	058776
42	Nail, 6d, 1 1/2" x 1/4", 16d Common, Code 197036 for Cedar Poles; 6d Common, Code 187034 for Douglas Fir or Pine Poles		
43	Riser Assembly (as required)		027742

(a) Substitute pipe strap and nails, Items 28 and 42
(b) Armor clad ground wire may be used for meter enclosure ground. Omit rigid steel (Item 33) when armor cladding is used.



ITEM NO	MATERIAL	ITEM NO	MATERIAL
c	3 Bolt, machine, 5/8" x req'd length	aa	2 Nut, eye, 5/8"
c	4 Bolt, machine, 1/2" x req'd length	ae	3 Surge arrester
d	12 Washer, sq, 2-1/4" x 3/16", 13/16" hole	av	- Jumpers, stranded, as req'd
d	4 Washer, rd, 1-3/8" dia., 9/16" hole	be	1 Recloser, oil circuit - 3 phase
g	2 Crossarm, 3-5/8" x 4-5/8" x 10'-0"	*	1 Mounting bracket for 3 phase recloser
g	1 Crossarm, 3-5/8" x 4-5/8" x 8'-0"	bo	6 Shackle, anchor
g	2 Crossarm, 3-5/8" x 4-5/8" x 4'-0"	bu	1 Connector, solderless
j	2 Screw, lag, 5/8" x req'd length	cu	2 Brace, crossarm, wood, 60" span
k	12 Insulator, suspension	ek	- Locknuts, as req'd
l	6 Clamp, deadend	fi	6 Connector, hot line
n	3 Bolt, double arming, 5/8" x req'd length	hj	3 Switch, recloser by-pass
p	- Connectors, as req'd		

POLE #3- PROTECTION
THREE-PHASE CIRCUIT RECLOSER WITH BY-PASS SWITCHES

POLE #1- METERING

1 inch
Scale to Confirm 24"x36" Plot

Apex Energy
SOLUTIONS

604 SUTTER ST, STE 250
FOLSOM, CA 95630
Phone : 916.985.9461
Fax: 916.985.9467

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SHEET TITLE:

ELECTRICAL DETAILS

DRAWN BY:	CI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED		
JOB NO:			
DATE:		REV No.	1

Cedar 1 Battery Project Description

Amador County Planning and Community
Development Department, CA

March 2022

Prepared For:
Apex Energy Solutions LLC.
604 Sutter Street, Suite 250
Folsom, California 95630

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1 INTRODUCTION

In effort to reduce greenhouse gas (GHG) emission and expand the availability of alternative energy resources locally and regionally, the project proponent/applicant, Apex Energy Solutions, LLC. is proposing to develop the Cedar 1 Battery Project (Project), an up to five (5)- megawatt alternating current (MWAC)/ forty (20)-megawatt hour (MWh) Battery Energy Storage System (BESS or ESS) facility on approximately two and one half (2.5) undeveloped acres, in the unincorporated region of Amador County, California. The site corresponds to a portion of Section 32 & 33, Township 7 North, and Range 12 East of Mount Diablo Base and Meridian (MDBM of the "Pine Grove" topographic quadrangles 7.5-minute quadrangle (U.S. Department of the Interior, Geological Survey 2005). (see Figure 2-1 Project Vicinity Map, Figure 2-2 Project Location Map and Figure 2-3 Amador County Assessor's Parcel Map, Book 30, Page).

The applicant is requesting County of Amador ("County") review and approval of a Conditional Use Permit (CUP) for the construction of a battery energy storage facility. The project would be constructed in one (1) phase that would be built over an up to six (6) month period and is anticipated to operate for a period of up to 30 years. After the 30-year project service life, the project would be decommissioned, and the project site returned to its pre-project condition. The BESS enclosures are not designed for occupancy. Equipment will be serviced on in intermittent basis by technicians.

Electricity stored by the site would be sold to an electric utility purchaser or another power purchaser under a long-term contract or power purchase agreement (PPA), or via the California Independent System Operator (CAISO) wholesale electricity markets. The proposed project includes the following physical site improvement components:

- Battery storage system enclosures (Ingress Protection Code 66 [IP 66] rated) on individual concrete pads.
- Pad-mounted transformers and plant control system on one concrete pad.
- Overhead and buried electrical conduit, transmission, and collection lines.
- Three new power poles.
- Portable carbon dioxide (CO₂) fire extinguishers mounted to the outside of each enclosure and infrared (IR) flame detectors and thermal security cameras (such as DET-TRONICS detectors and FLIR cameras) connected to an on-site data monitoring equipment and fire alarm.
- All-weather access road.
- On-site, unpaved interior roads with an all-weather perimeter road.
- Security fencing and gate to the facility with a Knox box.

Table 1-1 Project Statistics

Total Parcel Acreage	Assessor’s Parcel Number	Physical Location	Maximum Megawatts
6.39 Acres	030-740-022-000	Section 32 & 33, T7N, R12E	5.0 MW

1.1 Project Overview

Project title:	Cedar 1 Battery
Lead agency name and address:	Amador County Planning and Community Development Department 810 Court Street Jackson, CA 95642
Contact person and phone number:	Krista Ruesel (209) 223-6380
Project location:	The proposed project occupies a 2.5-acre portion of a 6.39-acre parcel located along the intersection of Carson Pass Highway (Highway 88) and Ridge Rd (Assessor’s Parcel No. 030-740-022-000). The subject property site is situated in unincorporated Amador County Planning and Community Development Department approximately 0.5 miles west of Pine Grove and 7.1 miles northeast of Jackson. The proposed project site is in the Public Land Survey System of Section 32 & 33, Township 7 North, Range 12 East, Mount Diablo Base and Meridian (MDBM), at approximately 2,400 feet above mean sea level, and can be found within Pine Grove, CA United States Geological Survey (USGS) 7.5-minute topographic quadrangle.
Project proponent’s name and address:	Apex Energy Solutions, LLC. 604 Sutter Street, Suite 250 Folsom, CA 95630 (916) 985-9461 (O)
General Plan designation:	TC (Local Service Center)
Zoning:	C2 (Heavy Commercial)
Description of Project:	Proposed development of an up to 5.0-megawatt (MW)/ 20.0-megawatt hour (MWh), battery energy storage facility on a currently undeveloped 2.5-acre portion of 6.39-acre parcel. The BESS facility would consist of battery storage system enclosures, plant control system, pad-mounted transformers, and three new power poles. The Project would feed into existing electrical distribution lines and be decommissioned after 30 years of service.
Surrounding land uses and setting:	Surrounding lands are characterized as agricultural land with generally irrigated fields with similar land use and flat topography with residences on agricultural land size parcels
Farmland Classification:	Other Farmland (see Figure 4 USDA Farmland Mapping and Monitoring Program (FMMP), 2020)

2 PROPERTY DESCRIPTION

The Project would be located in the unincorporated area of the County of Amador on Assessor’s Parcel Number (APN) 030-740-022-000 (approximately 6.39 acres), owned by Apex Energy Solutions LLC. The site is generally bound by Carson Pass Hwy 80 to the east, Ridge Rd to the north, residential land to the west, and agricultural land to the south. The site is approximately 0.5 miles west of Pine Grove, California and 7.1 miles northeast of Jackson, California.

The project site is bounded by commercial, residential, and agricultural land. The site corresponds to a portion of Section 32 & 33, Township 7 North, and Range 12 East. (Mount Diablo Base and Meridian) of the “Pine Grove” 7.5-minute quadrangle (U.S. Geological Survey [USGS] 1978). The approximate center of the site is located at 38.3727413° North and 120.7193288° West within the Upper Mokelumne Watershed (Hydrologic Unit Code #18040012; USGS 1978).

The project parcel has a General Plan designation of TC (Local Service Center) and is zoned C2 (Heavy Commercial) over the northern portion of the parcel while the southern portion of the parcel in the project areas has a General Plan designation of RL (Residential Low Density) and is zoned R1 (Single Family Residential). An application by Del Rapini Construction for a Tentative Parcel Map and consistency General Plan Amendment and Rezone are being processed concurrently with this application (PM2903 Del Rapini, GPA-21: 10-2 Del Rapini, and ZC-21: 10-1 Del Rapini). According to Table 2-1 in Section 18.10.020 of the Amador County Development Ordinance, “Energy Generation Facilities, Wind Farms, Biomass Fuel Manufacturing (off-site energy use)” are allowed uses with a Conditional Use Permit (CUP) within a C2 zone. As such, battery storage facilities are allowed in this zone with an approved CUP through the Amador County Planning and Community Development Department. Therefore, this CUP application is being filed for consideration by the Planning Commission.

2.1 Surrounding Land Uses, General Plan Designations, and Zone Classifications

Land uses on the surrounding properties are currently commercial, residential, and agricultural. Table 2-1 summarizes the existing land uses and zoning on the project site and in the vicinity.

Table 2-1 Land Uses

Project Site and Surrounding Land Uses

Location	Existing Land Use Types	Existing General Plan Map Code Designations	Existing Zoning Classifications
Project Site	Agriculture	TC (Local Service Center)/RL-Residential Low Density	C2 (Heavy Commercial)/R1-Single Family Residential
North	Commercial	TC (Local Service Center)	R1 – Single Family Residential
East	Agriculture	TC (Local Service Center)	R1A – Single Family Residential & Ag
South	Agriculture	RL – Residential Low Density	R1 – Single Family Residential
West	Residential	RL – Residential Low Density	R1 – Single Family Residential

2.2 Farmland

The project site is located within an area designated by the California Department of Conservation (DOC) as Other Land (see Figure 2-4 USDA Farmland Mapping and Monitoring Program (FMMP), 202) The DOC designates areas surrounding the project site as Urban and Built-Up Land Farmland and Nonagricultural or Natural Vegetation.

2.3 Site Access

Site access would be provided from Mineral Ridge Rd. Major freeways and highways that can be used to access the project site are Highway 88 and 49.

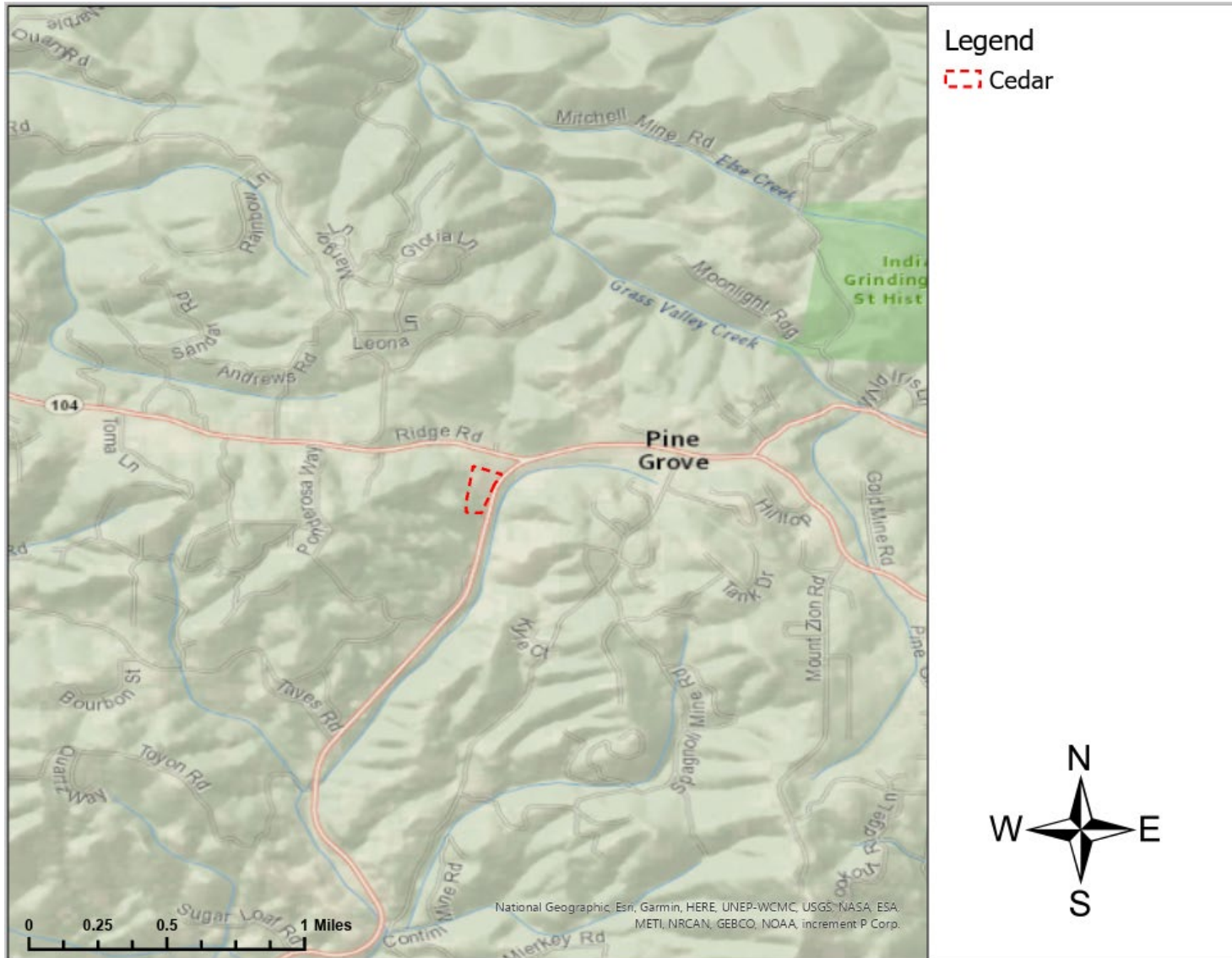


Figure 2-1 Project Vicinity Map

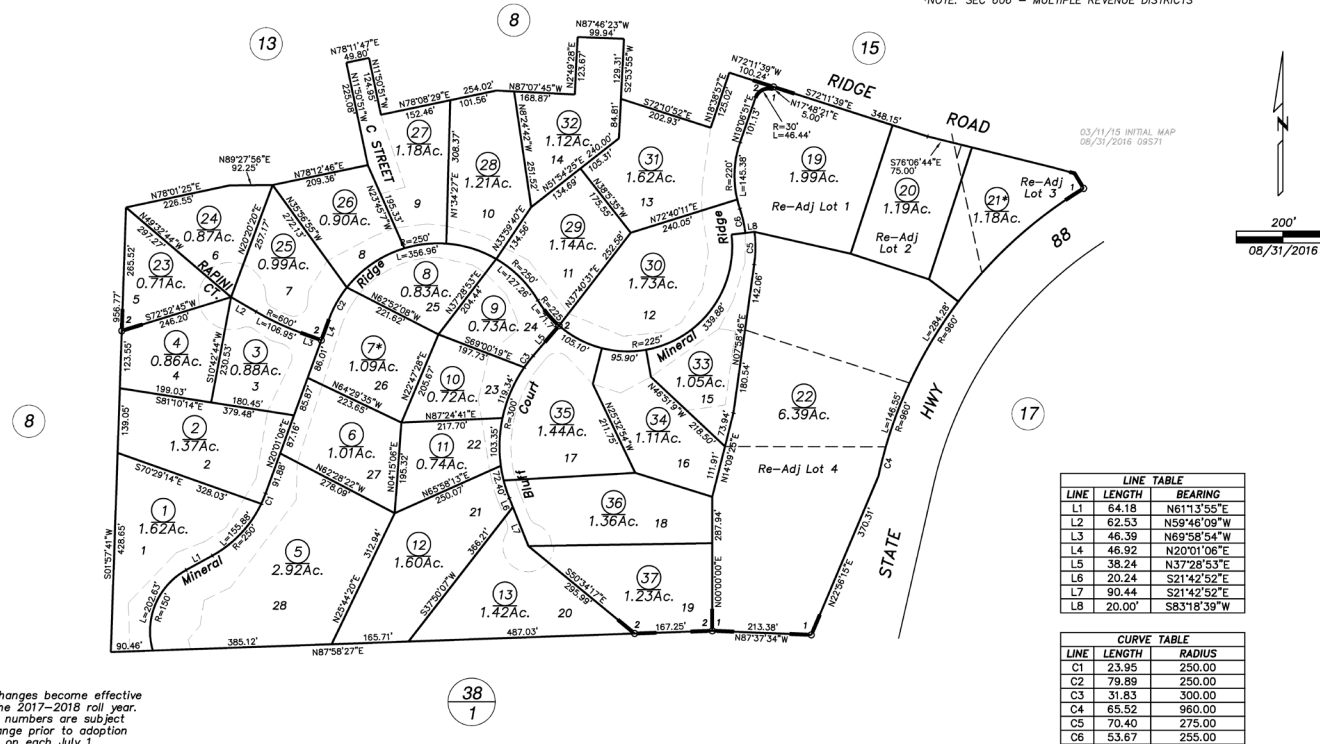


Figure 2-2 Project Location Map

POR. SEC. 32 & 33 T.7N., R.12E., M.D.B. & M. TAX AREA CODE 30-74

52-087
52-011

*NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



LINE TABLE		
LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'09"W
L3	46.39	N69°58'54"W
L4	46.92	N20°01'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00'	S83°18'39"W

CURVE TABLE		
LINE	LENGTH	RADIUS
C1	23.95	250.00
C2	79.89	250.00
C3	31.83	300.00
C4	65.52	960.00
C5	70.40	275.00
C6	53.67	255.00

Map changes become effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in its deed, is the property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (5/9/2008) Pine Grove Bluffs
- 1- R.M.Bk.64, Pg.13 (08/07/14)
- 2- R.M.Bk. 9, Sub.Pg.71 (02/04/16) PINE GROVE BLUFFS PHASE 2

NOTE-Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles.

Assessor's Map Bk. 30, Pg. 74
County of Amador, Calif.

Figure 2-3 Amador County Assessor's Parcel Map, Book 30, Page 74

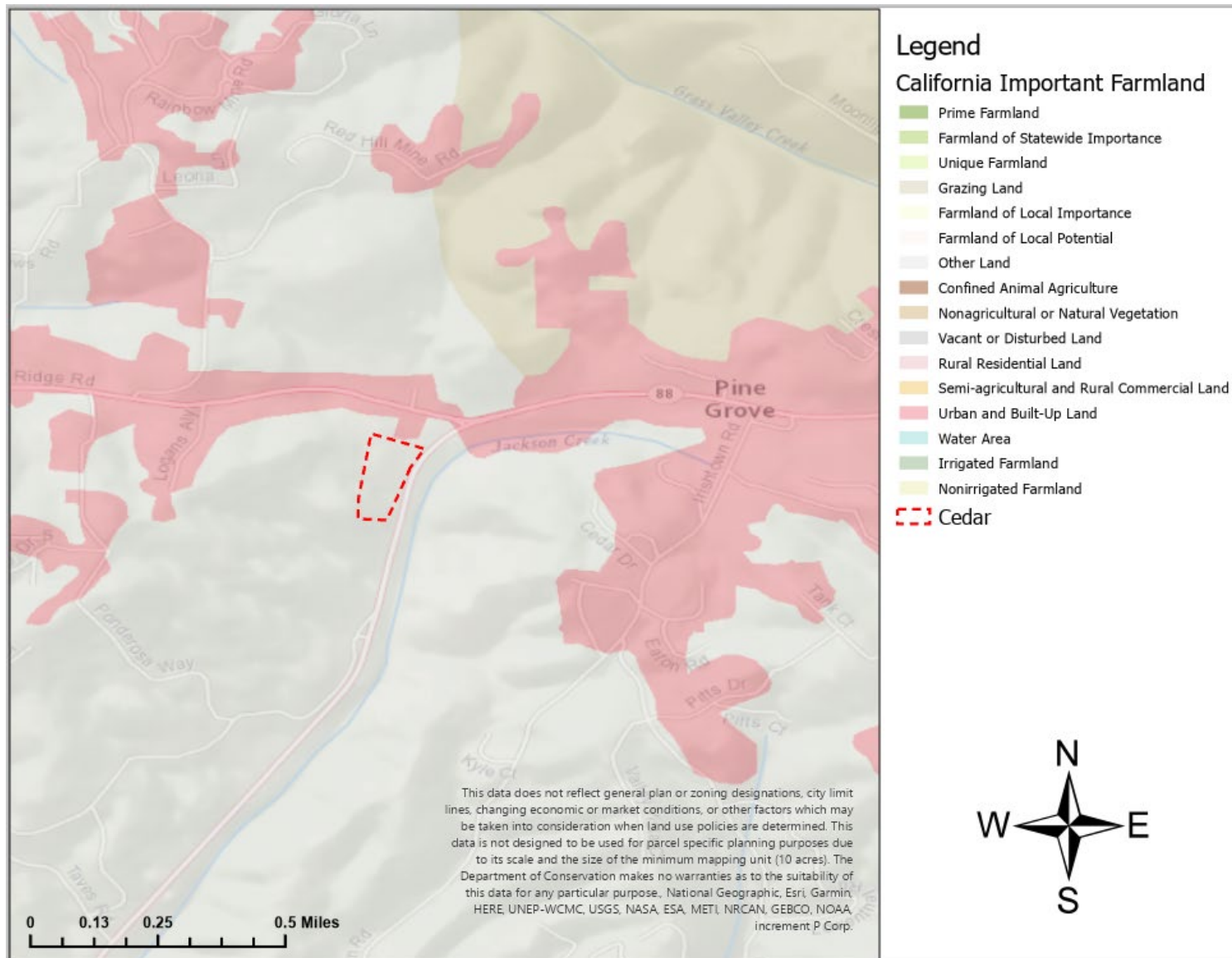


Figure 2-4 USDA Farmland Mapping and Monitoring Program (FMMP), 2021

3 PROJECT PURPOSE AND OBJECTIVES

The applicant's primary purpose of the proposed storage project is to improve local grid reliability by providing instantaneous frequency regulation and responsive reserves to PG&E. In essence, this project will help supplant the need for a new power plant in the region. With a ready supply of reserved energy, PG&E could reduce its reliance on Peaker power plants to serve local peak power demands.

Apex Energy Solutions, LLC. has identified the following additional objectives to complement the primary purpose of the proposed project:

- Reduce PG&E power shut offs during fires and extreme weather conditions.
- Assist California in meeting its current and future Renewable Portfolio Standard Goals.
- Provide an investment in California and Amador County that would create jobs and other economic benefits.
- Develop an economically feasible and commercially financeable project.
- Maximize the use of existing transmission infrastructure while minimizing the network upgrade costs borne by the California ratepayer.
- Minimize environmental effects by:
 - Working with the Grassland Water District to develop a flagship project for future development alongside, and without negatively impacting, the surrounding natural habitat.
 - Using existing electrical distribution facilities, rights-of-way, roads, and other existing infrastructure where practicable.
 - Minimizing impacts on threatened and/or endangered species.
 - Minimizing water use.
 - Reducing greenhouse gas emissions by providing an alternate source of renewable energy; and
- Use technology that is available, proven, efficient, easily maintained, recyclable, and environmentally sound.

4 PERMIT REQUIREMENTS

The following permits/approvals may be required for the Project from the specified agencies, although some may not be applicable:

- Conditional Use Permit (Amador County Planning and Community Development Department Land Use Department)
- Tentative Parcel Map, General Plan Amendment, and Rezone (Amador County Planning and Community Development Department Land Use Department)
- Grading Permit (Amador County Planning and Community Development Department Land Use Department)
- Building Permits (Amador County Planning and Community Development Department Land Use Department)
- Dust Control Plan (Amador County Air Pollution Control District)
- Encroachment Permit (Amador County Planning and Community Development Department Public Works Department)
- General Construction Storm Water Permit Notice of Intent/Storm Water Pollution Prevention Plan (California State Water Resource Control Board)

5 PROPOSED PROJECT

The project site consists of a battery energy storage system (BESS or ESS) that would be constructed on approximately a 2.5-acre portion of a 6.39-acre parcel located within Section 32 & 33, Township 7 North, Range 12 East, MDBM. The site is generally bound by Carson Pass Hwy 80 to the east, Ridge Rd to the north, residential land to the west, and agricultural land to the south. Site access would be provided from Mineral Ridge Rd. The proposed BESS or ESS would provide a maximum capacity of up to 5 MW over a 4-hour period for a total energy reservoir of 20 MWh. Key components of the battery storage system are described below.

5.1 Enclosures

The battery storage system would consist of approximately seven (7) Tesla Megapack alternate current (AC) coupled modular battery storage system enclosures measuring approximately 23 feet long, 5 feet wide, and 8 feet high. Each enclosure will be at least 5 feet away from each other and at least 10 feet from lot lines in accordance with Section 1206 (Electrical Energy Storage Systems [ESS]) of the California Fire Code. Each enclosure would house arrays of lithium ion (Li-ion) batteries in an open-air style racking (similar to computer racking) 7 to 9 feet high with associated wiring and controls. The battery storage system enclosures are not designed for occupancy. Each enclosure would have remotely controlled. Periodic inspections/maintenance would be performed as necessary.

Enclosures would be installed on individual concrete pads and would be anchored in and electrically grounded per California Building Code specifications and final geotechnical investigation recommendations.

Components within each enclosure are described below in Subsections 5.1.1 through 5.1.4.

5.2 Batteries

Individual lithium ion (Li-ion) cells form the core of the battery storage system. Cells are assembled either in series or parallel connection in sealed battery modules. The cells would have an operating DC voltage ranging from two (2) to six (6) volts, while the battery modules would have a DC voltage range between 40 to 120 volts. The battery modules would be installed in self-supporting racks electrically connected either in a series or parallel to each other. The operating rack-level DC voltage ranges between 400 and 1,500 volts. The individual battery racks are connected in series or parallel configuration to deliver the battery storage system energy and power rating.

5.3 Battery Storage System Controller

The battery storage system enclosure would house the batteries described above, as well as the battery storage system controller. The battery storage system controller is a multi-level control system designed to provide a hierarchical system of controls for all onsite components of the battery storage system, including the battery modules, power conversion system (PCS), medium voltage system, and up to the point of connection with the electrical grid. The controllers ensure that the battery storage system effectively responds to grid conditions. Power Conversion System (PCS)

The PCS consists of a bi-directional inverter, protection equipment, DC and alternating current (AC) circuit breakers, filter equipment, equipment terminals, and connection cabling system. The general configuration

would consist of batteries feeding into the DC side of central inverters as shown in Figure 4-1. The system design allows for the batteries to be charged from the electric grid only. Electric energy is transferred from the existing power grid to the project batteries during a battery charging cycle and from the project batteries to the power grid during a battery discharge cycle. The batteries are charged or discharged by a battery management system depending on the command from the plant level controller.

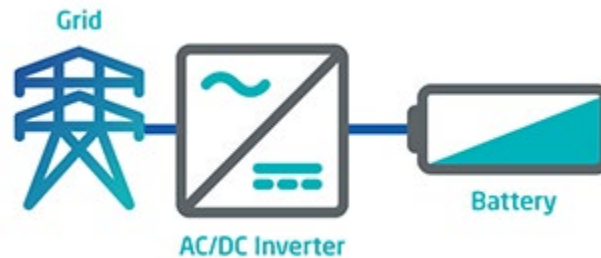


Figure 5-1 AC Coupled ESS Configuration

5.4 HVAC System

Each battery storage enclosure would contain its own heating, ventilation, and air conditioning (HVAC) system internal to each enclosure unit. Power to the HVAC systems would be provided via a connection to the on-site station service transformer with connection lines installed above and/or below ground.

5.5 Pad-Mounted Transformer(s)

AC output from the PCS would be transmitted to a step-up transformer, located on a central pad separate from enclosure pads, which would convert the AC output from the inverter voltage to the identified distribution-level voltage for the designated utility circuit. All electrical equipment would be either outdoor rated or contained within electrical enclosures designed specifically for such outdoor installations.

5.6 Electrical Collection and Distribution System

The medium-voltage power would be conveyed underground, or aboveground where necessary to avoid sensitive resources. The project interconnection facilities would connect to the existing utility approved point of interconnection (POI), the PG&E Pine Grove 12 kV circuit. The project interconnection facilities would comprise three new power poles; the facilities design would meet all necessary utility standards and requirements. All required electrical breaker systems and protective relay systems would be installed as part of the project. Surge arrestors would be used to protect the facility and auxiliary equipment from lightning strikes or other disturbances, as required.

5.7 Plant Control System

The project would have an overall Plant Control System and a Supervisory Control and Data Acquisition (SCADA) system that would allow for remote monitoring and control of inverters and other project components. The SCADA system would be able to monitor project output and availability, and to run diagnostics on the equipment. The microprocessor-based Plant Control System would provide control, monitoring, alarm, and data storage functions for plant systems as well as communication with the project's SCADA system. Redundant capability would be provided for critical PCS components so that no single component failure would cause a

plant outage. All field instruments and controls would be hardwired to local electrical panels. Local panels would be hard-wired to the plant PCS. Connection to a LAN line is proposed however, wireless technology would be considered as a potential alternative during final project design. The Plant Control System will be located on a concrete pad with the transformers.

5.8 Fire Protection

Tesla's Megapack is designed to be compliant with the California Fire Code as well as the 2021 International Fire Code, 2021 National Fire Protection Association (NFPA) 1 (Fire Code), the 2020 NFPA 855 (Standard for the Installation of Stationary Energy Storage Systems), and the Underwriter's Laboratories 9540A (Test Method for Evaluating Thermal Runaway Fire Propagation in Battery Energy Storage Systems, Edition 4). In addition, the project will be compliant with the Fire Code Section 1206.5.5 Fire Suppression Systems. Tesla's Megapack enclosures include a combination of dedicated runaway gas igniters and overpressure vents built into the roof. The vents direct all gases, smoke, and flame out of the top of the Megapack. In addition, all Tesla products undergo rigorous testing to standards such as UL 1973 and IEC 62619 to ensure that battery modules are resistant to single-cell thermal runaway propagation. Large-scale fire testing for the Tesla Megapack has demonstrated that this system passively mitigates the risk of deflagration hazards in case of thermal runaway or arc flash events.

In addition to design features, infrared (IR) flame detectors and thermal security cameras (such as DET-TRONICS detectors and FLIR cameras) will be connected to an on-site data monitoring equipment and onsite fire alarm. Portable CO2 fire extinguishers would also be placed on the outside of each enclosure.

5.9 Access and Interior Roads, Fencing, and Landscaping

The project site would contain a network of access roads. An all-weather gravel access road would be up to 20 feet wide and capable of supporting Amador County Planning and Community Development Department fire protection vehicles. The access point from Aubrey Avenue would be gated and keyed to prevent unauthorized access to the site. Interior roads would have a minimum width of 14 feet. The network of unpaved interior roads would run between power blocks for operations and maintenance. Turnaround areas would run around each of the inverters and/or equipment pads. In addition, unpaved perimeter roads would surround the facility.

The proposed project would include the development of up to a 20-foot wide all-weather access road for ingress and egress, with access to be provided at Mineral Ridge Rd as noted above. The access point will be gated and keyed to prevent unauthorized access to the project site. All-weather drive aisles up to 20 feet wide would run the perimeter of the project footprint.

To ensure the safety of the public, the facility's perimeter would be secured with a 6-foot-tall (minimum) chain link fence with barbed wire added on top for a total height of 8 feet. The perimeter fencing would screen the project from view, thereby ensuring that the facility would not adversely affect the visual character of the site and its surroundings. At a minimum, the height of this fence would be compliant with California Code of Regulations (CCR) Title 8, Section 2945, Access, and Workspace Requirements. Controlled-access gates would be located at the main entrance to the site. These would either be swinging or sliding gates, with a minimum width of 20 feet. A Knox box would be installed at the gate for access by emergency personnel.

The security fencing would be wildlife friendly and would include a 4- to 6-inch gap between the fence mesh and the ground, or the fence would be raised 4 inches above the ground. The bottom of the fence would be knuckled under and wrapped to form a smooth edge as a precautionary measure to provide wildlife access to and from the site. Signage that cites 18 USC 1366 would be placed along the fence perimeter to warn against trespassing.

No landscaping is proposed. Screening of the site is proposed using a fence mesh.

5.10 Security and Lighting

Site Lighting or Sound Amplification

There would be no lighting at the site. If lighting at equipment is needed for night maintenance, portable lighting would be used. Therefore, light spillover on adjacent properties would be minimal.

No sound amplification systems are proposed. According to Tesla Megapack specifications, each enclosure is expected to generate noise levels below 75 A-weighted decibels (dBA) at approximately one meter from the enclosure walls.

Site Drainage and Storm Water Control

Site drainage would be controlled and allowed to infiltrate onsite by installation of unlined swales. The final site drainage design will comply with the County and California State Water Resources Control Board's storm water regulations.

5.11 Water Requirements

No potable water supply would be required for the project. During operation, the site would be unstaffed, with personnel on site for security and maintenance activities as needed. There would be no sanitary facilities available for workers at the site, including sinks for washing or toilets.

5.12 Electrical Supply

Power for plant auxiliaries would be provided by the project's electrical storage or supplied by the local power provider.

Figure 5-2 Proposed Site Plan



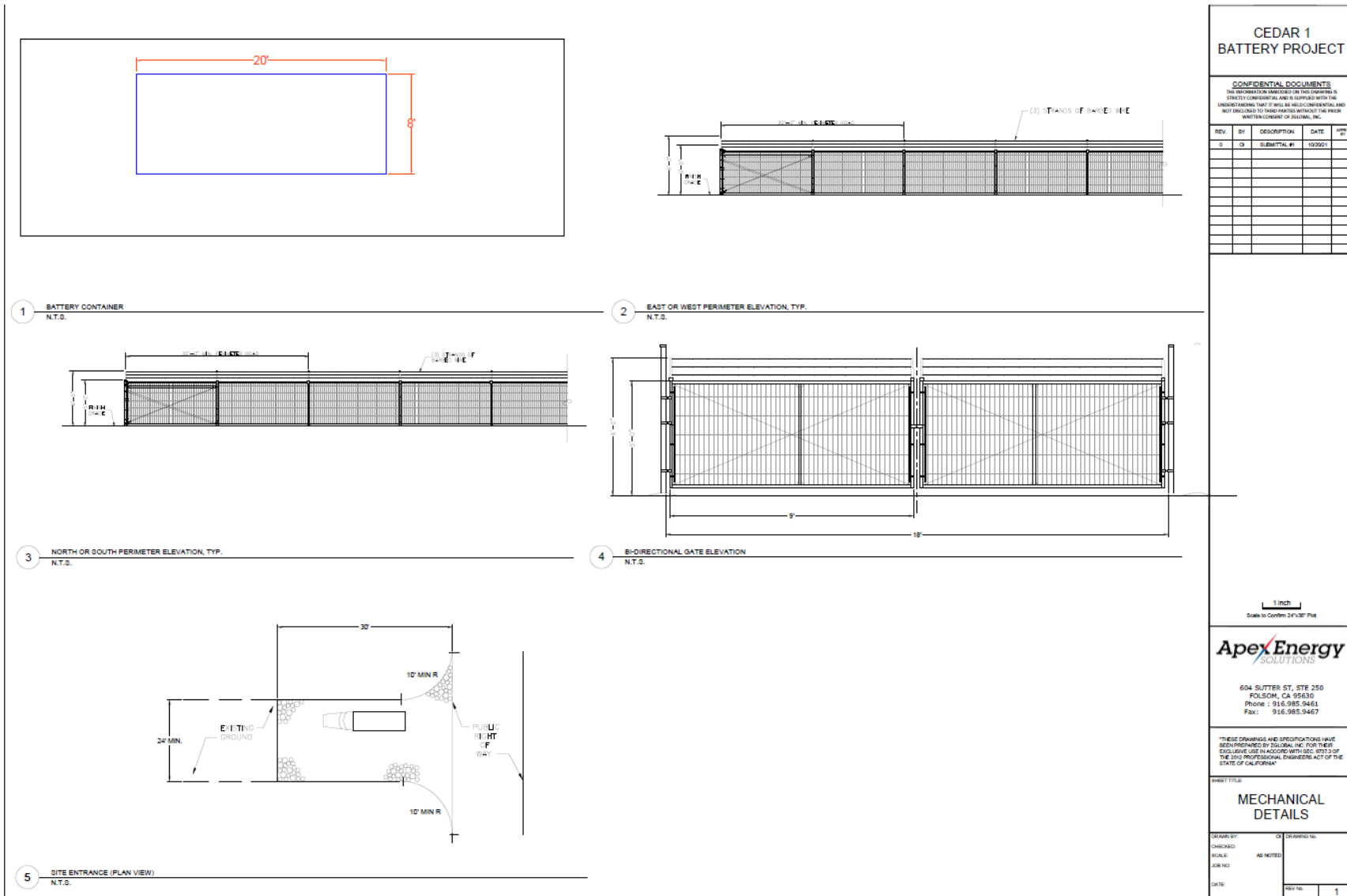


Figure 5-3 Elevations and Details

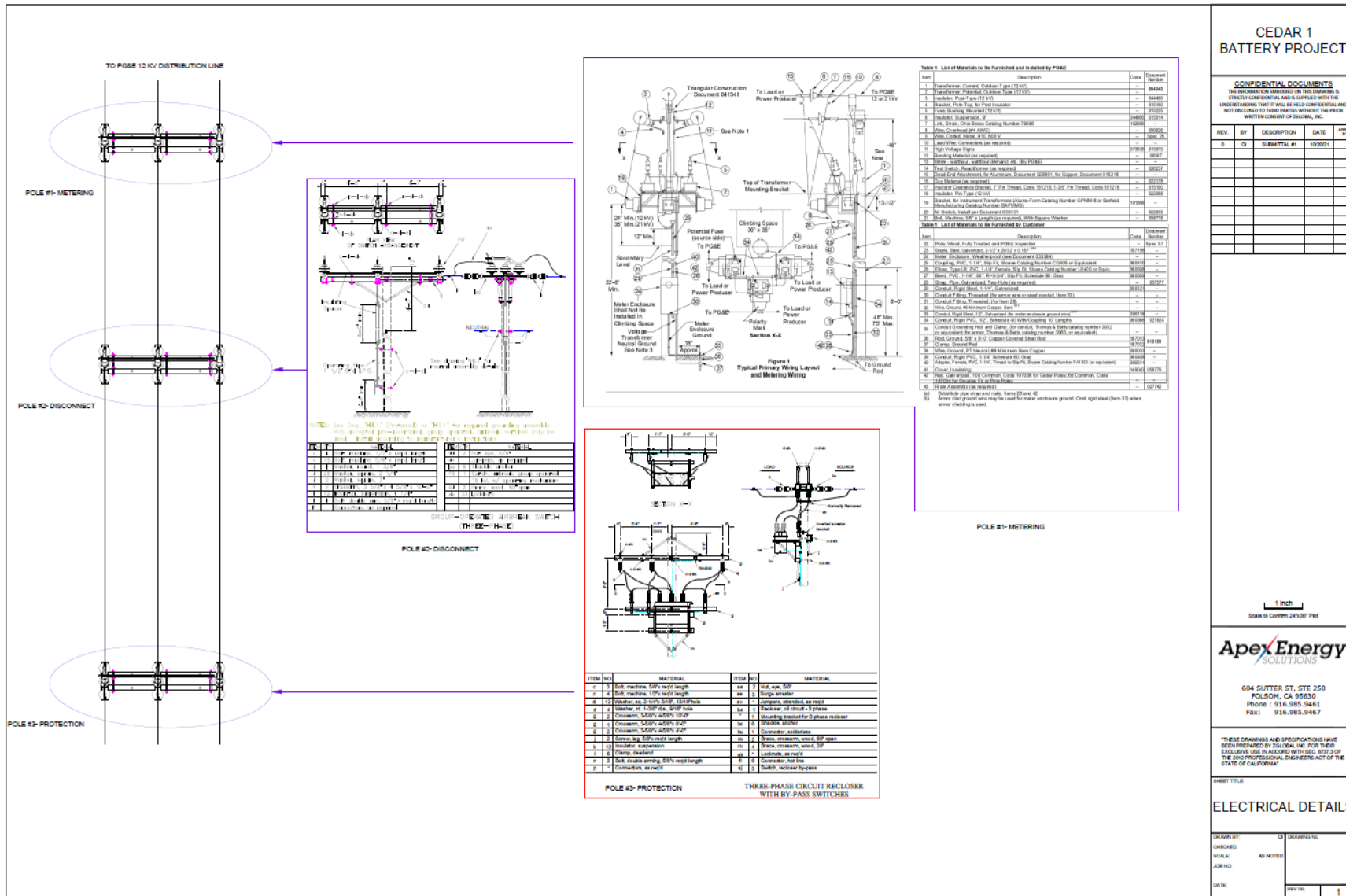


Figure 5-4 3-Pole Interconnection Detail

6 SITE CONSTRUCTION

The project would be constructed in up to one (1) phase and would be built over an up-to six (6)-month period. The actual start of construction will be determined based on the receipt of all pre-construction permits and approvals and securing financing for the project.

6.1 Construction Activities

Construction activities would primarily involve grubbing and trash removal; fine grading i.e. general leveling of the Project area to establish access roads and pads for electrical equipment; trenching for underground electrical collection lines; and the installation of security fencing.

The construction work force is expected to consist of 30 to 50 workers at any one time. Construction work would be limited to daylight hours, Monday through Friday unless otherwise necessary due to scheduling or deliveries. If construction does occur during the summer months, then starting time may be during early morning nighttime hours for the safety of employees.

There will be temporary construction offices during the construction phase, but these will be removed upon completion of the project. A temporary, portable construction supply container would also be located at the site at the beginning of construction and removed at the end of construction. Onsite parking would be provided for all construction workers.

BESS systems are manufactured off-site and delivered to the project site for installation.

Dust generated during construction would be controlled by watering and, as necessary, the use of other dust suppression methods and materials accepted by the Amador County Air Pollution Control District (ACAPCD) or the California Air Resources Board (CARB). Dust generating activities are expected to be completed over a four to six-month duration.

6.2 Traffic

Construction worker traffic is expected to travel to the site from Highway 49 from the north/south and through Highway 88 east bound.

Delivery trucks are expected to follow the same routes as the construction workers. An estimated two (semi type) trucks would arrive at the project site each day during the first few weeks of construction of the solar generating facility.

6.3 Electrical Supply

Temporary power for construction is expected to be provided by mobile diesel-driven generator sets and/or a temporary electrical service connection from the local power provider.

6.4 Water Usage

Water for construction would be hauled in by truck. It is conservatively estimated that up to 2 acre-feet of water would be required during the construction period to support project site roadway compaction, dust control, and sanitary use.

6.5 Wastewater

Wastewater generated during construction would consist primarily of sanitary waste, which would be managed through the use of portable toilets. Other wastewater generated during construction may include storm water runoff and equipment wash water. Construction would adhere to a storm water pollution prevention plan (SWPPP), which would incorporate BMPs for runoff and erosion control. Site-specific BMPs would be designed by the contractor in compliance with the regulations and permit conditions of the storm water pollution prevention plan. The project would also comply with applicable post-construction water quality requirements adopted by the RWQCB—Central Valley Region (Region 5).

6.6 Solid and Non-Hazardous Waste

A small amount of solid waste would be generated by construction activities at the site. Such waste may include paper, wood, glass, plastics from packing material, waste lumber, insulation, scrap metal and concrete, empty nonhazardous containers, and vegetation wastes. These wastes would be segregated, where practical, for recycling. Non-recyclable wastes would be placed in covered dumpsters and removed on a regular basis by a certified waste-handling contractor for disposal at a Class III landfill. Vegetation wastes generated by site clearing and grubbing would be chipped/mulched and spread on site or hauled off site to an appropriate “green” waste facility.

6.7 Hazardous Materials

The hazardous materials used for construction would be typical of most construction projects of this type. Materials would include small quantities of gasoline, diesel fuel, oils, lubricants, solvents, detergents, degreasers, paints, ethylene glycol, and welding materials/supplies. During project construction, material safety data sheets for all applicable materials present at the site would be made readily available to onsite personnel.

6.8 Hazardous Waste

No hazardous waste would be generated during construction.

7 OPERATIONS AND MAINTENANCE

Once placed into service, the facility would operate during day and nighttime. An estimated two or three offsite workers would be required for operation, maintenance, and security of the site. Operation and security would be conducted from an offsite location, and maintenance crews would be dispatched to the site (as needed) during operation. Project maintenance performed on the site would consist of equipment inspection and replacement and would occur primarily during daylight hours. Maintenance schedules would be developed to include periodic maintenance and equipment replacement in accordance with manufacturer recommendations.

No heavy equipment would be used during normal operation. Operation and maintenance vehicles would include trucks (pickups, flatbeds, and dump trucks), forklifts, and loaders for routine and unscheduled maintenance. Large heavy-haul transport equipment may be brought to the site infrequently for equipment repair or replacement.

7.1 Solid and Nonhazardous Waste

The project would produce a small amount of solid waste from operational activities. During operations, refuse could be generated by workers while on site. This would include rags, empty containers, and other miscellaneous types of nonhazardous solid wastes. All solid waste would be removed by workers when they leave the site.

7.2 Hazardous Materials

During operation of the facility, in addition to the Li-ion batteries themselves, each enclosure would contain approximately 500 liters of a 50 percent ethylene glycol solution that serves as a coolant mix that would circulate through the batteries and power components to maintain thermal control. In addition, approximately 9 kilograms of the refrigerant R-134a (1,1,1,2-tetrafluoroethane) would also be used in a sealed system for each enclosure. Finally, small quantities of gasoline, diesel fuel, oils, lubricants, solvents, detergents, degreasers, paints, and welding materials/supplies would also be used for routine maintenance activities, however, there would be no storage of these materials onsite. A hazardous materials business plan would be provided to the Amador County Planning and Community Development Department Environmental Health Services Department/Hazardous Materials Section, which would include a complete list of all materials that would be used on site and information regarding how the materials would be transported and in what form they would be used. This information would be recorded to maintain safety and prevent possible environmental contamination or worker exposure.

7.3 Hazardous Waste

No hazardous waste would be stored or transported from the project site.

7.4 Health and Safety

All employees and contractors would be required to adhere to the appropriate health and safety plans and emergency response plans. All construction and operation contractors would be trained and required to operate under a health and safety program that meets industry and Occupational Safety and Health Administration (OSHA) standards.

7.5 Maintenance Overview

Site maintenance is anticipated to occur approximately 2 to 4 times per year for a period of 3 to 5 days per maintenance period. Site maintenance may include site preventative maintenance and vegetation control per visit. Vegetation would be periodically removed manually and/or treated with a combination of pre- and post-emergent herbicides containing an adherent additive. In accordance with Fire Code 1206.5.7 Vegetation Control, Areas within 10 feet (3 m) on each side of outdoor ESS shall be cleared of combustible vegetation and other combustible growth.

Site Preventative Maintenance

Preventative maintenance is anticipated to entail 1 to 3 employees visiting the site to perform routine maintenance on the mechanical and electrical equipment to ensure optimal performance. This can include any or all of the following: 1) site walk inspection of all electrical and mechanical components for wear and tear; 2) system electrical testing; 3) inverter inspection and preventative maintenance; and 4) battery cell modules inspection.

8 DECOMMISSIONING AND RECLAMATION

At the end of the project's operational term, the project proponent may determine that the project should be decommissioned and deconstructed, or it may seek an extension of the CUP. Because installation of the energy storage system equipment would result in minimal disturbance, when they are removed after the project's lifetime, the land would be largely unaltered from its natural state. The project proponent would work with the County to put an agreement in place that would ensure decommissioning of the project after its productive lifetime. The project would use BMPs to ensure the collection and recycling of battery modules and minimize the potential for modules to be disposed of as municipal waste.

Decommissioning and reclamation may include: 1) packaging batteries for removal and recycling or otherwise ensuring removal; 2) removing ancillary facilities; and 3) reclamation, re-vegetation, restoration, and soil stabilization to return the site to its native conditions; or 4) return to agricultural production as dictated by any agreements that may be put into place between the applicant and the property owner(s). Material and equipment and mechanical assemblies will be recycled. All concrete pads will be crushed and recycled. Any underground conduit and wire will be removed by uncovering the trenches and backfilling when done. The remaining balance of material and/or waste generated from the project would either be recycled as appropriate for the type of material or disposed of at the local transfer station and/or landfill facility.

9 REPRESENTATIVE SITE PHOTOGRAPHS



Figure 9-1 Representative photo, looking southwest. Photo Taken 9/3/21



Figure 9-2 Pine Trees north of Individual Oak Tree, looking south. Photo Taken 9/3/21



Figure 9-3 Representative photo, looking southeast. Photo taken 9/3/21



Figure 9-4 Representative photo, looking east. Photo taken 9/3/21

Subject: Response to Technical Advisory Commission (TEC) Comments at their December 2, 2021 meeting dated December 9, 2021

Reference: Use Permit UP-21; 10-3 Apex Energy Solutions Battery Energy Storage Facility (BESS) (with PM 2903 Del Rapini, ZC-21; 10-2 Del Rapini, and GPA-21; 10-2 Del Rapini)

Question 1: Detail of a typical container including methods of a containment sump.

Response:

Tesla's Megapack BESS enclosures would be installed at the project site. Each Tesla Megapack enclosure components and layout are described below.



1. Individually fused battery modules (active and passive) – externally serviceable
2. Touch-safe Customer Interface Bay
3. Externally serviceable inverter bay
4. Non-walk-in IP66 enclosure, with internal and external thermal insulation and deflagration mitigation
5. Thermal roof with overpressure vents

A containment sump is not included in the project, this is an error in the original project description.

Question 2: Typical fire protection system within each container.

Response:

Tesla's Megapack is designed to be compliant with the California Fire Code as well as the 2021 International Fire Code, 2021 National Fire Protection Association (NFPA) 1 (Fire Code), the 2020 NFPA 855 (Standard for the Installation of Stationary Energy Storage Systems), and the Underwriter's Laboratories 9540A (Test Method for Evaluating Thermal Runaway Fire Propagation in Battery Energy Storage Systems, Edition 4). In addition, the project will be compliant with the Fire Code Section 1206.5.5 Fire Suppression Systems. Tesla's Megapack enclosures include a combination of dedicated runaway gas

igniters and overpressure vents built into the roof. The vents direct all gases, smoke, and flame out of the top of the Megapack. In addition, all Tesla products undergo rigorous testing to standards such as UL 1973 and IEC 62619 to ensure that battery modules are resistant to single-cell thermal runaway propagation. Large-scale fire testing for the Tesla Megapack has demonstrated that this system passively mitigates the risk of deflagration hazards in case of thermal runaway or arc flash events.

In addition to design features, infrared (IR) flame detectors and thermal security cameras (such as DET-TRONICS detectors and FLIR cameras) will be connected to an on-site data monitoring equipment and onsite fire alarm. Portable CO2 fire extinguishers would also be placed on the outside of each enclosure.

Question 3: Why isn't a third-party monitoring company being used since you have several standalone fire extinguishing systems on site.

Answer:

In addition to design features, infrared (IR) flame detectors and thermal security cameras (such as DET-TRONICS detectors and FLIR cameras) will be connected to an on-site data monitoring equipment and onsite fire alarm. Apex Energy Solutions have a 24/7 monitoring desk that will monitor the operation and performance of the battery system.

Question 4: What is company's method of monitoring of the fire system? Company's safety policy regarding emergency procedure?

Answer:

"Tesla's Lithium-Ion Battery Emergency Response Guide.pdf" would be followed for the project. As described above, Apex Energy Solutions have a 24/7 monitoring desk that will monitor the operation and performance of the battery system.

Question 5: Specific vegetation management program for this site? Please provide detail of work to be performed.

Answer: Vegetation would be periodically removed manually and/or treated with a combination of pre- and post-emergent herbicides containing an adherent additive. Site maintenance is anticipated to occur approximately 2 to 4 times per year for a period of 3 to 5 days per maintenance period. If necessary, site maintenance will include site preventative maintenance and vegetation control per visit. In accordance with Fire Code 1206.5.7 Vegetation Control, Areas within 10 feet (3 m) on each side of outdoor ESS shall be cleared of combustible vegetation and other combustible growth.

Questions 6: How will the site be secured, managed, and supervised?

Answer: Fencing -To ensure the safety of the public, the facility's perimeter would be secured with a 6-foot-tall (minimum) chain link fence with barbed wire added on top for a total height of 8 feet. At a minimum, the height of this fence would be compliant with California Code of Regulations (CCR) Title 8, Section 2945, Access and Workspace Requirements. Controlled-access gates would be located at the main entrance to the site. These would either be swinging or sliding gates, with a minimum width of 20 feet.

The perimeter fencing would screen the project from view using fencing mesh.

The security fencing would be wildlife friendly and would include a 4- to 6-inch gap between the fence mesh and the ground, or the fence would be raised 4 inches above the ground. The bottom of the fence would be knuckled under and wrapped to form a smooth edge as a precautionary measure to provide wildlife access to and from the site. Signage that cites 18 USC 1366 would be placed along the fence perimeter to warn against trespassing.

Site Management/Supervisory -The project would have a Supervisory Control and Data Acquisition (SCADA) system that would allow for remote monitoring and control of inverters and other project components. The SCADA system would be able to monitor project output and availability, and to run diagnostics on the equipment. The project would also have a local overall Plant Control System that would provide monitoring of the solar field as well as control of the balance of facility systems. The microprocessor-based Plant Control System would provide control, monitoring, alarm, and data storage functions for plant systems as well as communication with the project's SCADA system. Redundant capability would be provided for critical components so that no single component failure would cause a plant outage. All field instruments and controls would be hardwired to local electrical panels. Local panels would be hard-wired to the Plant Control System. Connection to a LAN line is proposed however, wireless technology would be considered as a potential alternative during final project design.

Question 7: Provide a typical quantity of hazmat product per container.

Answer: During operation of the facility, in addition to the Li-ion batteries themselves, each enclosure would contain approximately 500 liters of a 50 percent ethylene glycol solution that serves as a coolant mix that would circulate through the batteries and power components to maintain thermal control. In addition, approximately 9 kilograms of the refrigerant R-134a (1,1,1,2-tetrafluoroethane) would also be used in a sealed system for each enclosure. Finally, small quantities of gasoline, diesel fuel, oils, lubricants, solvents, detergents, degreasers, paints, and welding materials/supplies would also be used for routine maintenance activities, however, there would be no storage of these materials onsite.

Question 8: Provide a detailed spill control method for the site as well as per container.

Answer: Enclosures and transformers will be placed on individual concrete pads. In accordance with State and Federal regulations, the project will have a comprehensive spill prevention, control, and countermeasure (SPCC) plan, as applicable in accordance with State and Federal regulations.

Question 9: Are you familiar with the hazmat permitting process based on quantities listed in the California Fire Code?

Answer: The project will comply with Section 1206 (Electrical Energy Storage Systems) of the California Fire Code, as well as the remainder of the California Fire Code and Building Code.

Question 10: Sample images of similar projects, or rendering on the proposed project.

Answer: The images below show a single standard Megapack from the front as well as typical configuration of multiple Megapacks on a site.

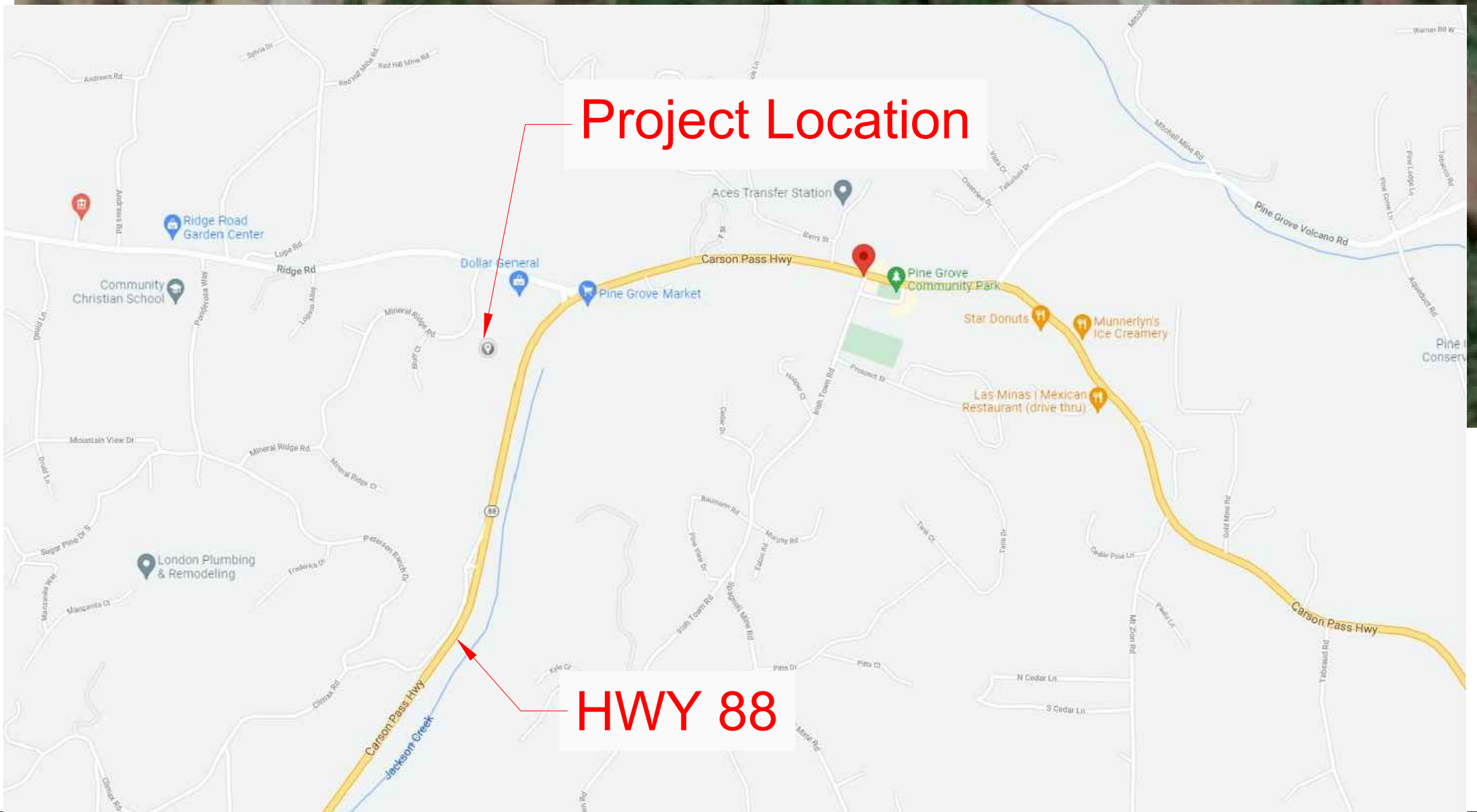
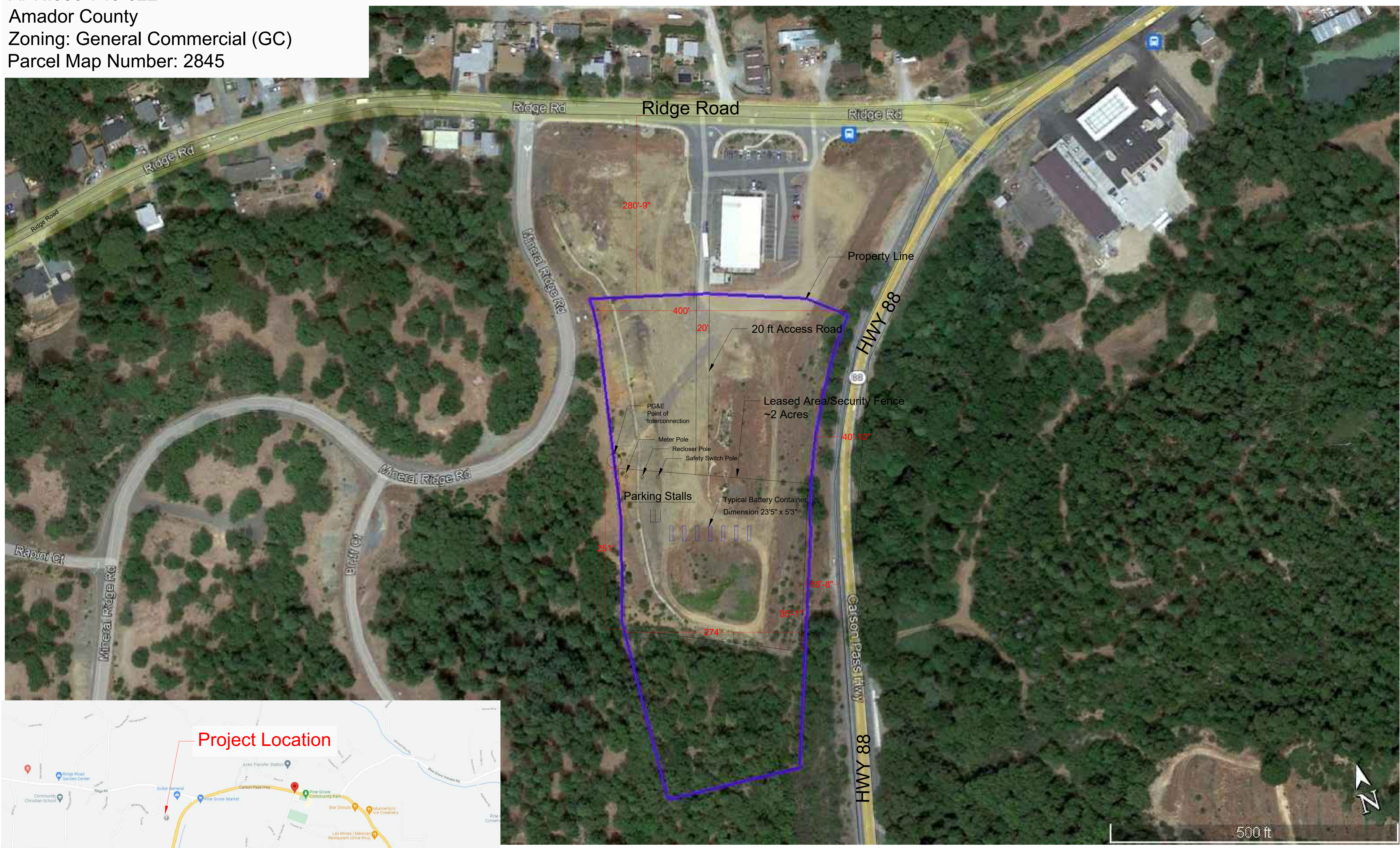


Project: Cedar 1 Battery Storage
 Applicant: Apex Energy Solutions LLC
 APN:030-740-022
 Amador County
 Zoning: General Commercial (GC)
 Parcel Map Number: 2845

**CEDAR 1
 BATTERY PROJECT**

CONFIDENTIAL DOCUMENTS
 THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

REV.	BY	DESCRIPTION	DATE	APPROVED BY
0	OI	SUBMITTAL #1	10/20/21	
1	OI	TESLA BATTERIES	02/14/22	



1 inch
 Scale to Confirm 24"x36" Plot



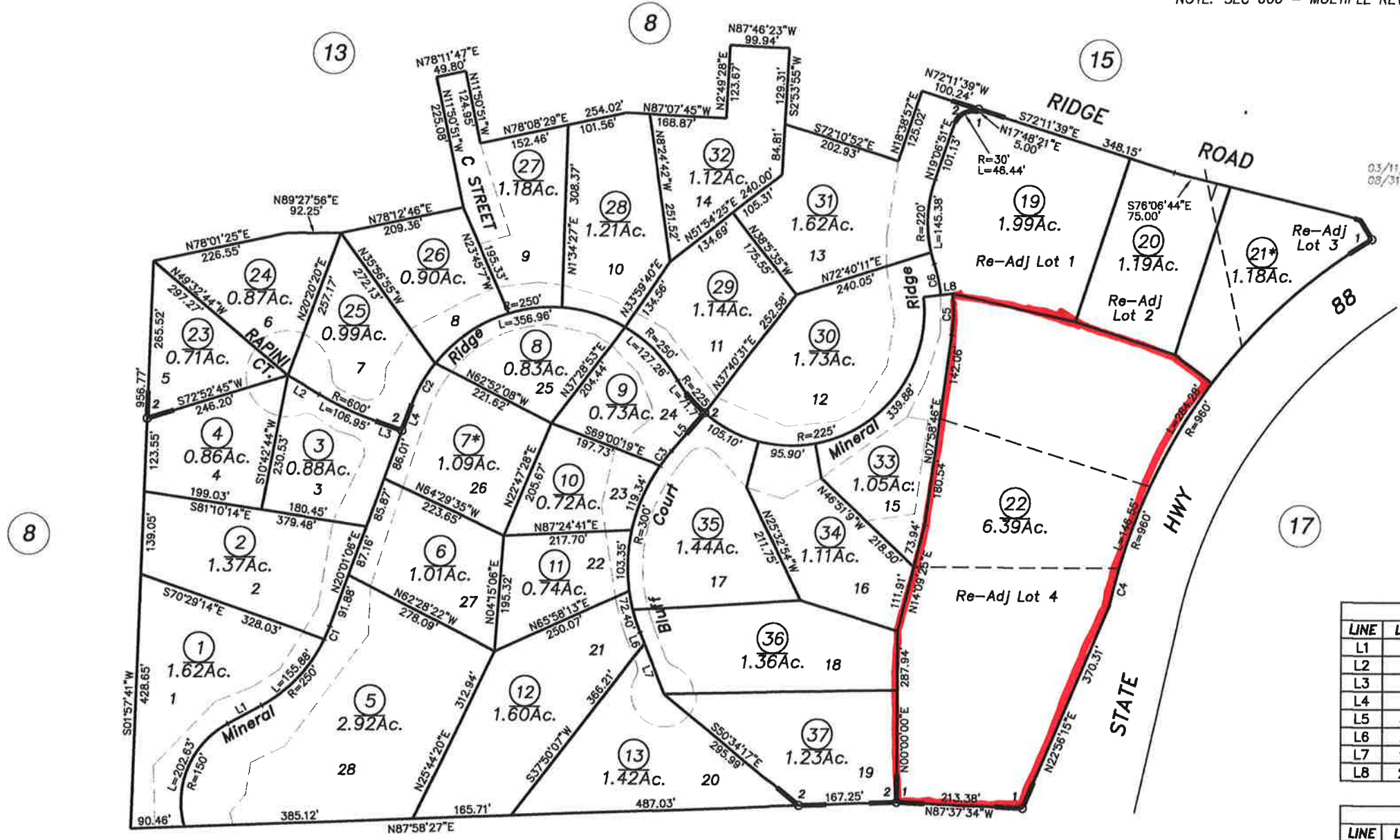
604 SUTTER ST, STE 250
 FOLSOM, CA 95630
 Phone : 916.985.9461
 Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

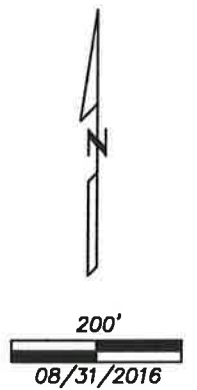
SITE MAP

DRAWN BY:	OI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED	PS-000	
JOB NO:			
DATE:		REV No.	1

*NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



03/11/15 INITIAL MAP
08/31/2016 09S71



LINE TABLE		
LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'09"W
L3	46.39	N69°58'54"W
L4	46.92	N20°01'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00'	S83°18'39"W

CURVE TABLE		
LINE	LENGTH	RADIUS
C1	23.95	250.00
C2	79.89	250.00
C3	31.83	300.00
C4	65.52	960.00
C5	70.40	275.00
C6	53.67	255.00





Map changes become effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in it's deed, is the property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (5/8/2008) Pine Grove Bluffs
- 1- R.M.Bk.64, Pg.13 (08/07/14)
- 2- R.M.Bk. 9, Sub.Pg.71 (02/04/18) PINE GROVE BLUFFS PHASE 2

NOTE-Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles.

LEGEND

-  EXISTING OVERHEAD POWER LINE
-  EXISTING WATER LINE
-  EXISTING SEWER LINE
-  PROPOSED 50' PRIVATE ACCESS AND UTILITY EASEMENT

VESTING TENTATIVE PARCEL MAP No. 2903

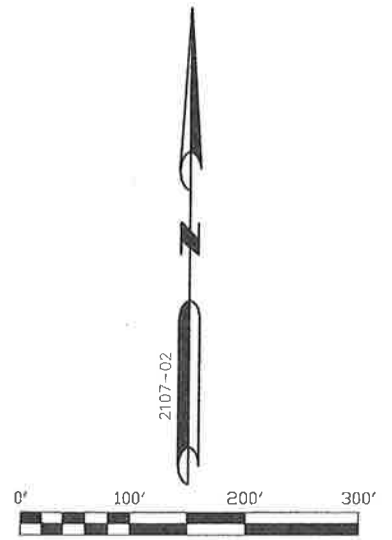
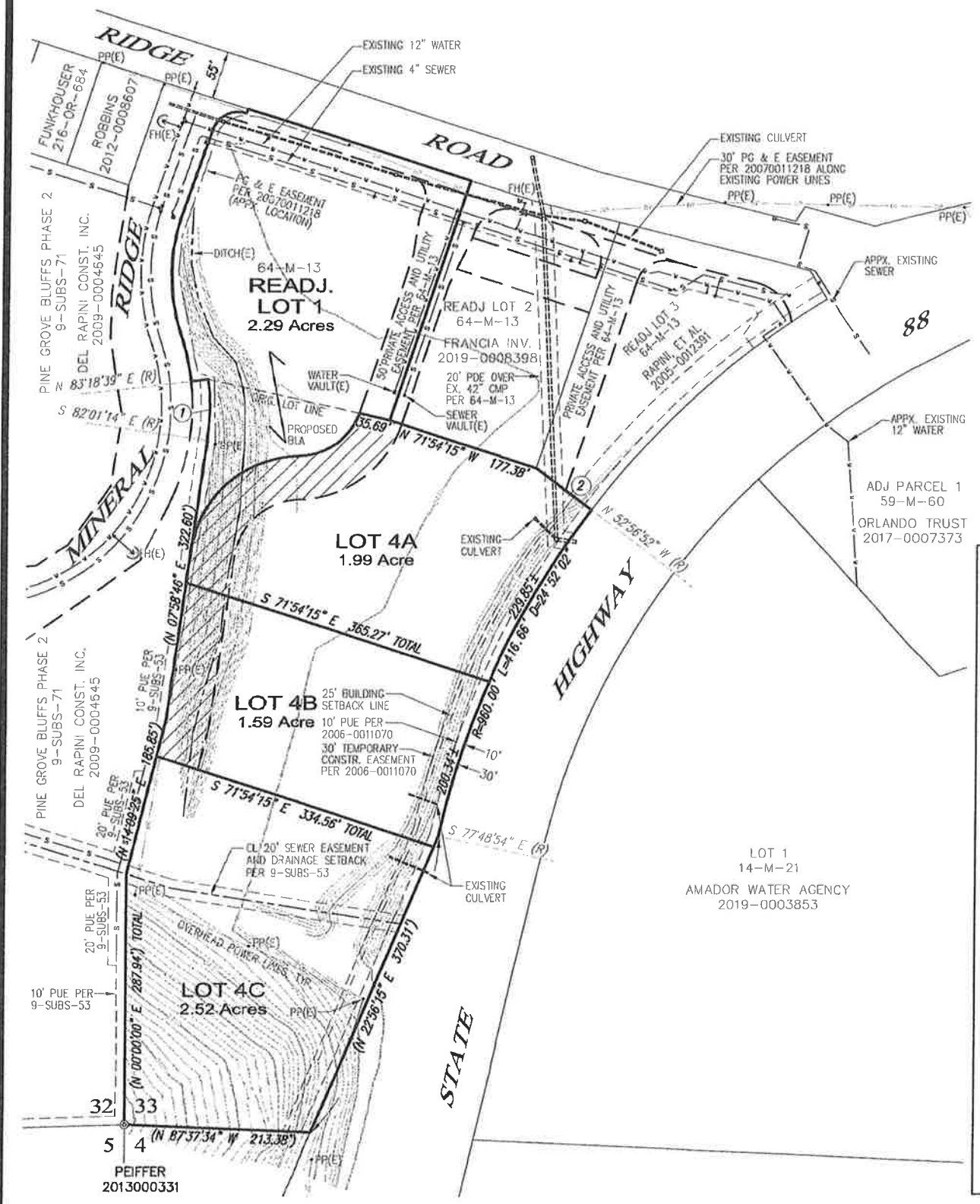
for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
udt dated August 20, 2003
20030015687 and 20090004646
and
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA

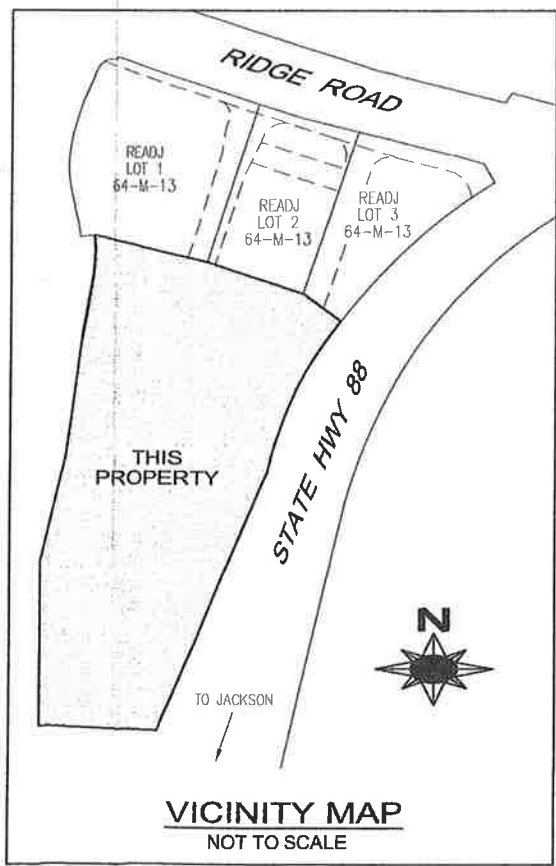
Scale: 1" = 100'
Contour Int: 2'

TOMA & ASSOCIATES INC.
ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95642
(209) 223-0156

September, 2021



DATA TABLE	
1	(R=275.00' D=14'40'07" L=70.40')
2	N 52°56'52" W 79.38' TOTAL



GENERAL NOTES AND STATEMENTS

1. RECORD OWNER: DELBERT E. RAPINI, Trustee of the Delbert E. Rapini 2003 Separate Property Trust and DEL RAPINI CONSTRUCTION, INC., a California Corporation
ATTN: DELBERT E. RAPINI
5701 OLIVE RANCH ROAD
GRANITE BAY, CA 95746
(209) 408-2607
2. SURVEYOR: TOMA and ASSOCIATES
LICENSED LAND SURVEYORS
41 SUMMIT STREET
JACKSON, CA 95642
(209) 223.0156
3. A.P.N.: 030-740-022
4. ZONING: "C2" AND "R1" (EXISTING) "C2" (PROPOSED)
5. GENERAL PLAN: TC AND RL (EXISTING) TC (PROPOSED)
6. DEED REFERENCE: 2003-0015687, 2009-0004646 AND 2005-0012391
7. PROPOSED USE: COMMERCIAL
8. WATER: PINE GROVE COMMUNITY SERVICES DISTRICT (PGCSD)
9. SEWAGE DISPOSAL: AMADOR WATER AGENCY PINE GROVE WASTEWATER SYSTEM
10. FIRE PROTECTION: AMADOR FIRE PROTECTION DISTRICT (AFPD)
11. SCHOOL: AMADOR COUNTY UNIFIED SCHOOL DISTRICT (ACUSD)
12. UTILITIES: POWER WILL BE SERVED BY PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE WILL BE SERVED BY CURRENT AREA PROVIDER
13. EASEMENTS: PUBLIC UTILITY EASEMENTS WILL BE FIVE FEET ON EACH SIDE OF ALL INTERIOR LOT LINES AND TEN FEET ALONG THE EXTERIOR BOUNDARY OF THIS PROJECT.
14. SETBACKS: SETBACKS WILL CONFORM TO AMADOR COUNTY ZONING REGULATIONS 19.24.040.
FRONT =20' DRAINAGE =20' (10' EACH SIDE) IF NECESSARY
REAR =0' MAX COVERAGE =80%
SIDE =0'
15. SPECIAL DISTRICTS: AMADOR FIRE PROTECTION DISTRICT
16. PHASING: FINAL MAPS MAY BE SUBMITTED IN MULTIPLE FILINGS.
17. FLOOD ZONE: NO PORTION OF THIS PROJECT LIES WITHIN AN AREA SUBJECT TO FLOOD WATER INUNDATION BY THE 100-YEAR FLOOD AND IS WITHIN ZONE "X" AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD RATE INSURANCE MAP FOR AMADOR COUNTY, CALIFORNIA DATED MAY 20, 2010.

PANEL 375 OF 700
MAP No.06005C0375F
18. MINIMUM LOT SIZE: MINIMUM LOT SIZE WILL BE 1.59± ACRE.
19. THE DEVELOPER PLANS TO CONSTRUCT ALL IMPROVEMENTS REQUIRED FOR THE CREATION OF LOTS AND FILING OF A FINAL MAP AS REQUIRED BY ALL APPLICABLE COUNTY CODES AND THE CONDITIONS OF APPROVAL OF THE TENTATIVE MAP.
20. THERE ARE NO PUBLIC AREAS OR SCENIC EASEMENTS PROPOSED ON THIS PROJECT.
21. THIS PROJECT DOES NOT LIE WITHIN 1000 FEET OF A MILITARY INSTALLATION, BENEATH A FLIGHT PATH OR WITHIN SPECIAL USE AIRSPACE.
22. NO FIELD SURVEY WAS MADE TO ESTABLISH TOPOGRAPHIC LINES AND FEATURES.
23. THE FOLLOWING EASEMENTS ARE NOTED IN PRELIMINARY REPORT ORDER No. 42215-PMG PREPARED BY WESTERN LAND TITLE COMPANY AND DATED JULY 27, 2021 AS AFFECTING THIS PROPERTY (SEE SAID PRELIMINARY REPORT FOR COMPLETE LIST OF EXCEPTIONS):

NO DOCUMENT REFERENCE RIGHTS OF THE PUBLIC TO STATE HIGHWAY 88
A-AG PATS-469 RESERVATIONS AND EXCEPTIONS
28-DEEDS T-107 FLUME, TUNNEL AND INCIDENTALS
64-M-13, 9-SUBS-53, 4-M-5 DEDICATIONS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC.
51-DEEDS-118 PGE EASEMENT
2006-0001170 PUE, TEMPORARY CONSTRUCTION EASEMENT
2007-0011217, 2007-0011218 ELECTRICAL FACILITIES
2014-0008769 PRIVATE ACCESS AND UTILITY EASEMENTS PER 64-M-13
2014-0008771 EASEMENT AGREEMENT

PEIFFER
2013000331

VICINITY MAP
NOT TO SCALE

ENVIRONMENTAL INFORMATION FORM

(To be completed by applicant; use additional sheets as necessary)
Attach plans, diagrams, etc. as appropriate

GENERAL INFORMATION

Project: **Tentative Parcel Map No. 2903**
Date Filed:

Applicant: **Delbert E. Rapini/Del Rapini Construction** Record Owner: **Same**
5701 Olive Ranch Road
Granite Bay, CA 95746
(209) 408-2607

APN: **030-740-022**

Zoning: **Existing: "R1" SF Residential and "C2" Heavy Commercial**
Proposed: "C2" Heavy Commercial

Gen. Plan: **Existing: TC Town Center and RL Residential Low Density**
Proposed: TC Town Center

List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and federal agencies:

WRITTEN PROJECT DESCRIPTION

Include the following information where applicable, as well as any other pertinent information to describe the proposed project:

1. Site Size
2. Square Footage of Existing/Proposed Structures
3. Number of Floors of Construction
4. Amount of Off-Street Parking Provided (provide accurate detailed parking plan)
5. Source of Water
6. Method of Sewage Disposal
7. Attach Plans
8. Proposed Scheduling of Project Construction
9. If project is to be developed in phases, describe anticipated incremental development.
10. Associated Projects
11. Subdivision/Land Division Projects: Tentative map will be sufficient unless you feel additional information is needed or the County requests further details.
12. Residential Projects: Include the number of units, schedule of unit sizes, range of sale prices/rents and type of household size expected.
13. Commercial Projects: Indicate the type of business, number of employees, whether neighborhood, city or regionally oriented, square footage of sales area, loading facilities.
14. Industrial Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities and community benefits to be derived/project.
15. Institutional Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities and community benefits to be derived/project.
16. If the project involves a variance, conditional use permit or rezoning application, state this and indicate clearly why the application is required.

Are the following items applicable to the project or its effects? Discuss below all items checked "yes". Attach additional sheets as necessary.

YES NO

- 17. Change in existing features, lakes, hills, or substantial alteration of ground contours
- 18. Change in scenic views or vistas from existing residential areas, public lands or roads
- 19. Change in pattern, scale or character of general area of project
- 20. Significant amounts of solid waste or litter
- 21. Change in dust, ash, smoke, fumes or odors in the vicinity
- 22. Change in lake, stream, ground water quality/quantity, or alteration of existing drainage patterns
- 23. Substantial change in existing noise or vibration levels in the vicinity
- 24. Site on filled land or on slope of 10 percent or more
- 25. Use or disposal of potentially hazardous materials, such as toxic substances, flammables or explosives
- 26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.)
- 27. Substantial increase in fossil fuel consumption (electricity, oil, natural gas, etc.)
- 28. Relationship to a larger project or series of projects

ENVIRONMENTAL SETTING

- 29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site and the use of the structures. Attach photographs of the site.
- 30. Describe the surrounding properties, including information on plants and animals, and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (single family, apartments, shops, department stores, etc.) and scale of development (height, frontage setbacks, etc.) Attach photographs of the vicinity.
- 31. Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc. Attach photos of these known features.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

Date: 4-23-21

Signature: 
Delbert E. Rapini, Del Rapini Construction

**ATTACHMENT TO
ENVIRONMENTAL INFORMATION FORM**

ENVIRONMENTAL SETTINGS

29.

Northerly $\frac{3}{4}\pm$ of the project site is flat with existing graded pad. No portion of it lies within the FEMA 100-year flood plain. Current use of the property is vacant. There are some scattered oaks and brush that cover the southerly $\frac{1}{4}\pm$ of the property. Existing zoning is C2 (Heavy Commercial) and R1 (Single Family Residential). Proposed zoning is C2 (Heavy Commercial). Existing general plan designation is TC (Town Center) and RL (Residential Low Density). Proposed general plan designation is TC (Town Center). No known cultural, historical or scenic aspects on the project site.

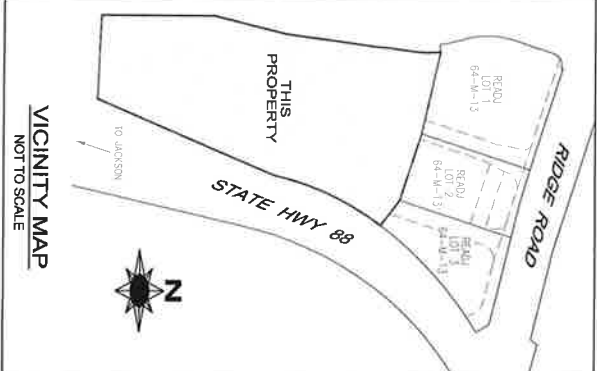
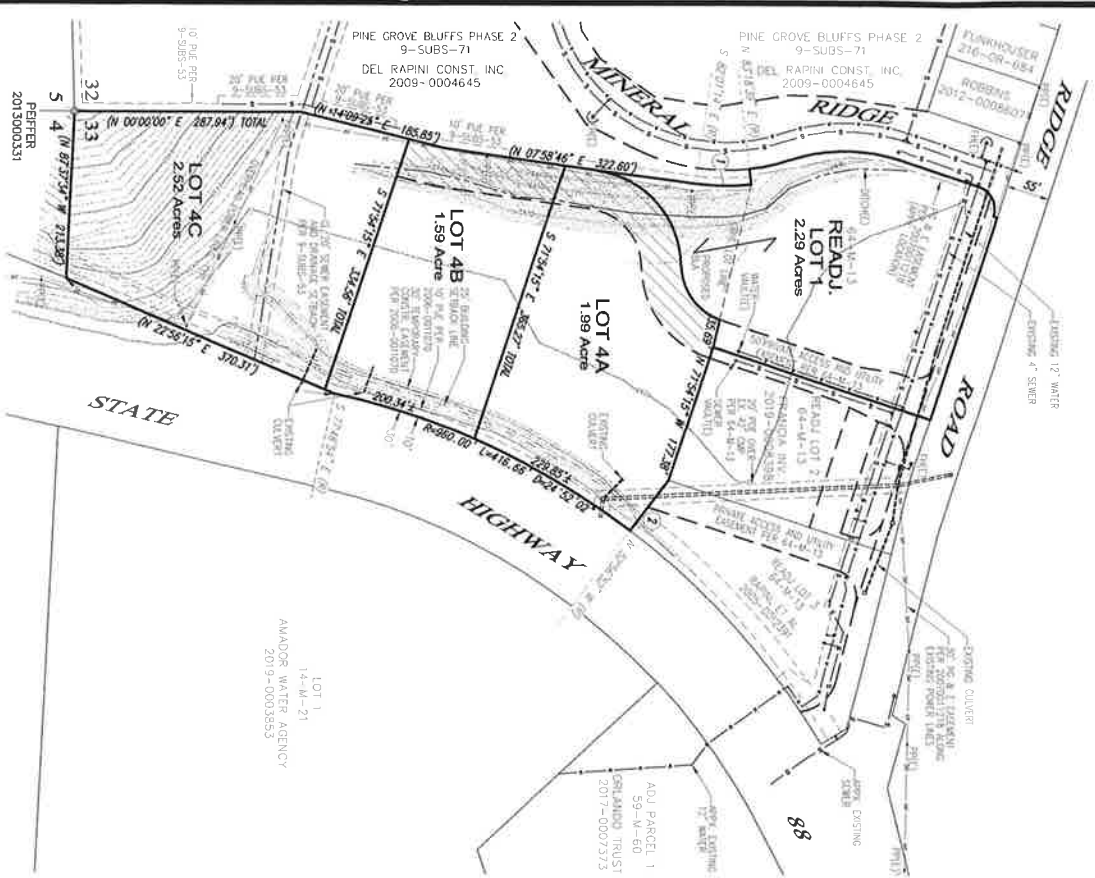
30.

Surrounding properties range from single family residential (Pine Grove Bluffs to the west and Petersen Ranch to the south) to commercial (Pine Grove Market, gas station and car wash to the northeast) to Amador Water Agency Pine Grove Wastewater parcel to the southeast. No known cultural, historical or scenic aspects on the project site.

31.

There are no known mine shafts, tunnels, air shafts, open hazardous excavations on the project site.

- LEGEND**
- EXISTING OVERHEAD POWER LINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - PROPOSED 50' PRIVATE ACCESS AND UTILITY EASEMENT



DATA TABLE

1	P=273.00	D=1440.0	E=78.40
2	N 52°56'52" W	73.57	100.00

**VESTING
TENTATIVE
PARCEL MAP NO. 2903**

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
udt dated August 20, 2003
20030015687 and 20090004646
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391

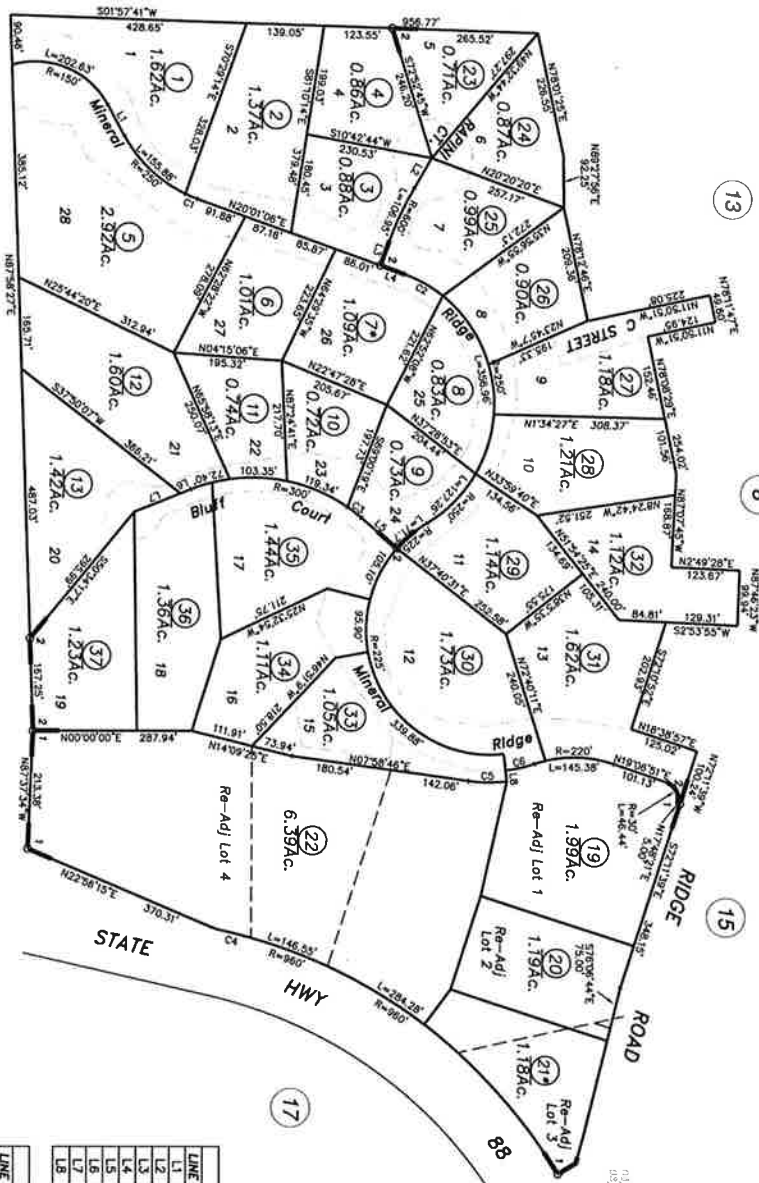
Scale: 1" = 100'
Contour Int: 2'
TOMA & ASSOCIATES, INC.
ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95602
(209) 223-0106
September, 2021

GENERAL NOTES AND STATEMENTS

1. RECORD OWNER: DELBERT E. RAPINI, Trustee of the Delbert E. Rapini 2003 Separate Property Trust
ATTN: DELBERT E. RAPINI
6701 OLIVE RANCH ROAD
CANTON, CA 95921
(916) 488-2807
2. SURVEYOR: TOMA and ASSOCIATES
41 SUMMIT STREET
JACKSON, CA 95642
(209) 223-0106
3. A.P.N.: 060-04022
4. ZONING: TC (PROPOSED)
5. GENERAL PLAN: TO (PROPOSED)
6. DEED REFERENCE: 2000-0004646 AND 2009-0004646
7. PROPOSED USE: COMMERCIAL
8. WATER: FINE GROVE COALUNITY SERVICES DISTRICT (FGCS)
9. SEWAGE DISPOSAL: AMADOR WATER AGENCY FINE GROVE WASTEWATER SYSTEM
10. FIRE PROTECTION: AMADOR COUNTY UNIFIED SCHOOL DISTRICT (ACUSD)
11. UTILITIES: SCHOOLS: AMADOR COUNTY UNIFIED SCHOOL DISTRICT (ACUSD)
POWER WILL BE SERVED BY PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE WILL BE SERVED BY CALPINE AREA PROVIDER
12. EASEMENTS: LOT LINES AND TIE LINES SHALL BE PERMITTED ON EACH SIDE OF ALL INTERIOR SETBACKS INCL. CORNER TO AMADOR COUNTY ZONING REGULATIONS 19.24.040 FRONT 20' DRAINAGE 20' (IF EACH SIDE IF NECESSARY) SIDE 4' MAX COVERAGE 30%
13. SETBACKS: AMADOR FIRE PROTECTION DISTRICT
14. SPECIAL DISTRICTS: FINE GROVE COALUNITY SERVICES DISTRICT (FGCS)
15. PHASING: FINAL LOTS MAY BE SUBMITTED IN MULTIPLE PHASES
16. FLOOD ZONE: WITHIN 100 FEET OF ANY WATER BODIES WITHIN AN AREA SUBJECT TO FLOOD WATER INUNDATION OF THE PROPOSED LOTS AND WITHIN 100 FEET OF ANY FLOOD PLANE ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD RATE INSURANCE MAP FOR AMADOR COUNTY, CALIFORNIA DATED MAY 20, 2010
17. MINIMUM LOT SIZE: PARCEL 273 OF 700
440' X 600' X 200' X 200'
18. MINIMUM LOT SIZE SHALL BE 1.886 ACRES.
19. THE APPLICANT HAS TO COMPLETE ALL IMPROVEMENTS REQUIRED FOR THE CREATION OF LOTS AND FILING OF A FINAL MAP AS REQUIRED BY THE AMADOR COUNTY CODES AND THIS PROJECT IS SUBJECT TO THE APPROVAL OF THE TENTATIVE MAP.
20. THERE ARE NO PUBLIC AREAS OR SCENIC EASEMENTS PROPOSED ON THIS PROJECT.
21. THIS PROJECT DOES NOT VIOLATE ANY CITY ORDINANCES, ORDINANCES, RESOLUTIONS, EASEMENTS, ETC.
22. NO FIELD SURVEY WAS MADE TO ESTABLISH TOPOGRAPHIC LINES AND FEATURES.
23. THE FOLLOWING EASEMENTS ARE NOTED IN PRELIMINARY REPORT ORDER No. 42215-PMG PREPARED BY WESTERN LAND TITLE COMPANY AND DATED JULY 27, 2021 AS AFFECTING THIS PROPERTY (SEE SAID PRELIMINARY REPORT FOR COMPLETE LIST OF EASEMENTS):
NO OCCUPANT REFERENCE RIGHTS OF THE PUBLIC TO STATE HIGHWAY 88
644M-13, 364UBS-83, 44M5
514DEB23-118
26-08203-7-1-07
644M-13, 364UBS-83, 44M5
514DEB23-118
2007-0011217, 2007-0011218
2014-0068789
2014-0068771
PRIVATE ACCESS AND UTILITY EASEMENTS PER 644M-13 EASEMENT AGREEMENT

POR. SEC. 32 & 33 T.7N., R.12E., M.D.B. & M. TAX AREA CODE 30-74

NOTE: SEC. 606 - MULTIPLE REVENUE DISTRICTS



Map changes become effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in it's deed, is the property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (3/8/2008) Pine Grove Bluffs
- R.M.Bk. 64, Pg.13 (08/07/14)
- R.M.Bk. 9, Sub.Pg. 71 (02/04/19) PINE GROVE BLUFFS PHASE 2

NOTE-Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles.

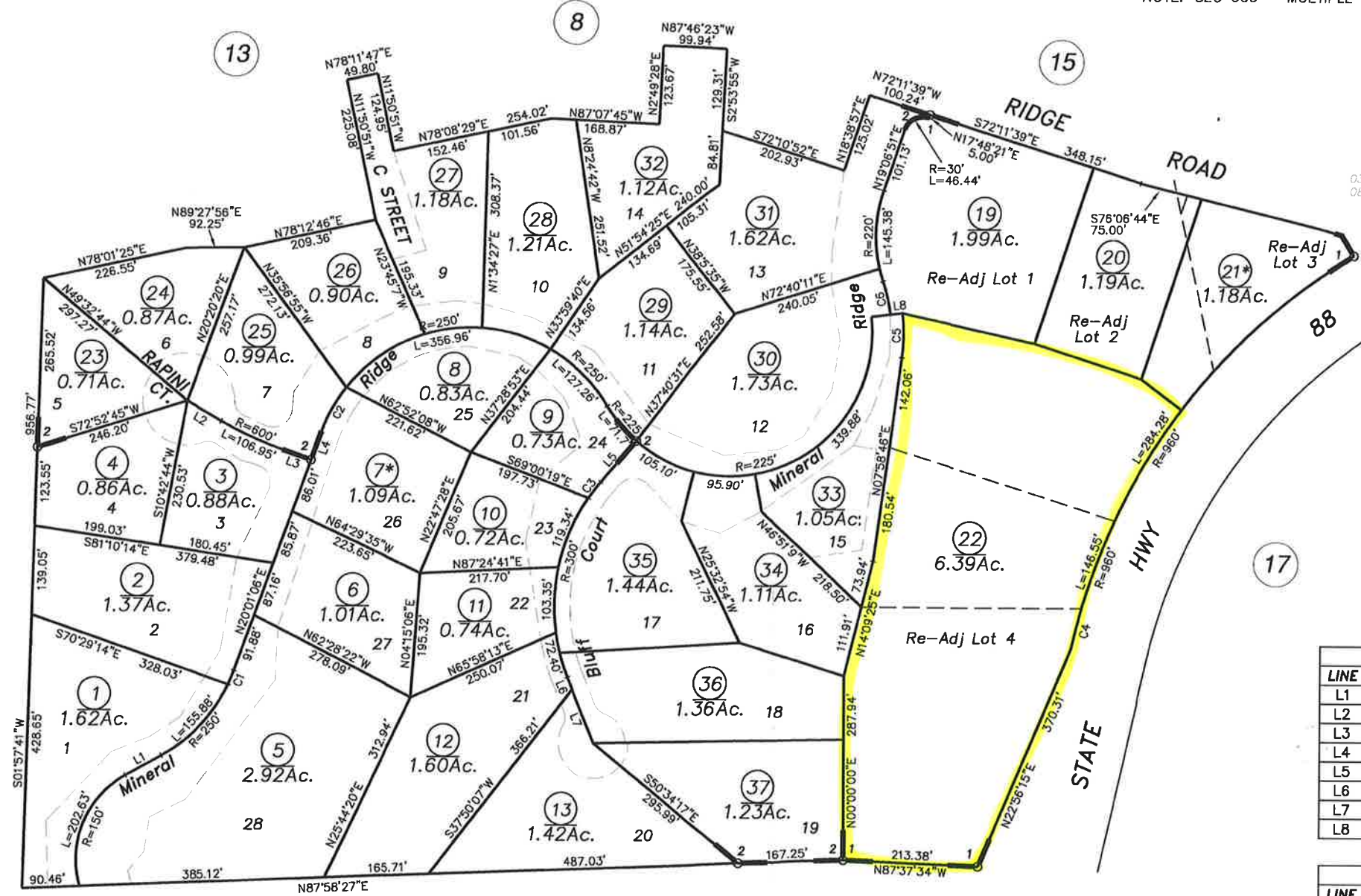
LINE LENGTH	BEARING
L1	64.18 N60°13'S87°E
L2	82.53 N59°48'09"W
L3	46.39 N69°38'54"W
L4	46.92 N20°01'08"E
L5	58.24 N37°28'53"E
L6	20.24 S21°42'52"E
L7	90.44 S21°42'52"E
L8	20.00' S21°18'39"W

CURVE TABLE	RADIUS
C1	23.95 250.00
C2	79.88 250.00
C3	31.83 300.00
C4	65.52 960.00
C5	70.40 275.00
C6	53.87 255.00

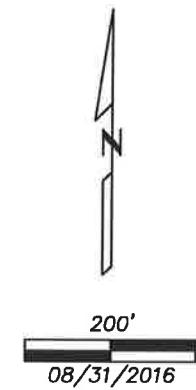
Assessor's Map Bk. 30, Pg. 74
County of Amador, Calif.

(37)

*NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



03/11/15 INITIAL MAP
08/31/2016 09S71



LINE TABLE		
LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'09"W
L3	46.39	N69°58'54"W
L4	46.92	N20°01'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00'	S83°18'39"W

CURVE TABLE		
LINE	LENGTH	RADIUS
C1	23.95	250.00
C2	79.89	250.00
C3	31.83	300.00
C4	65.52	960.00
C5	70.40	275.00
C6	53.67	255.00

Map changes become effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.





38
1

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in its deed, is the property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (5/8/2008) Pine Grove Bluffs
- 1- R.M.Bk.64, Pg.13 (08/07/14)
- 2- R.M.Bk. 9, Sub.Pg.71 (02/04/16) PINE GROVE BLUFFS PHASE 2

NOTE-Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

LEGEND

-  EXISTING OVERHEAD POWER LINE
-  EXISTING WATER LINE
-  EXISTING SEWER LINE
-  PROPOSED 50' PRIVATE ACCESS AND UTILITY EASEMENT

VESTING TENTATIVE PARCEL MAP No. 2903

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
udt dated August 20, 2003
20030015687 and 20090004646
and
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA

Scale: 1" = 100'
Contour Int: 2'



TOMA & ASSOCIATES INC.
ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95642
(209) 223-0156

September, 2021



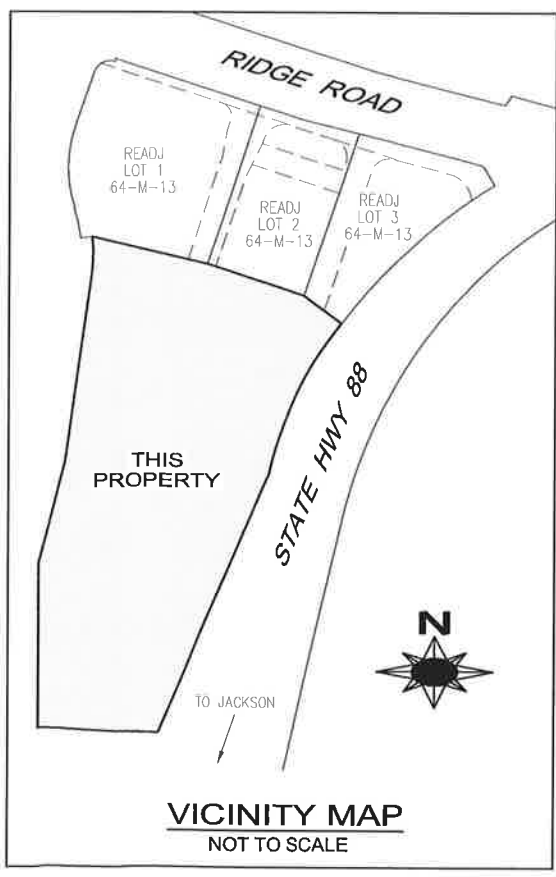
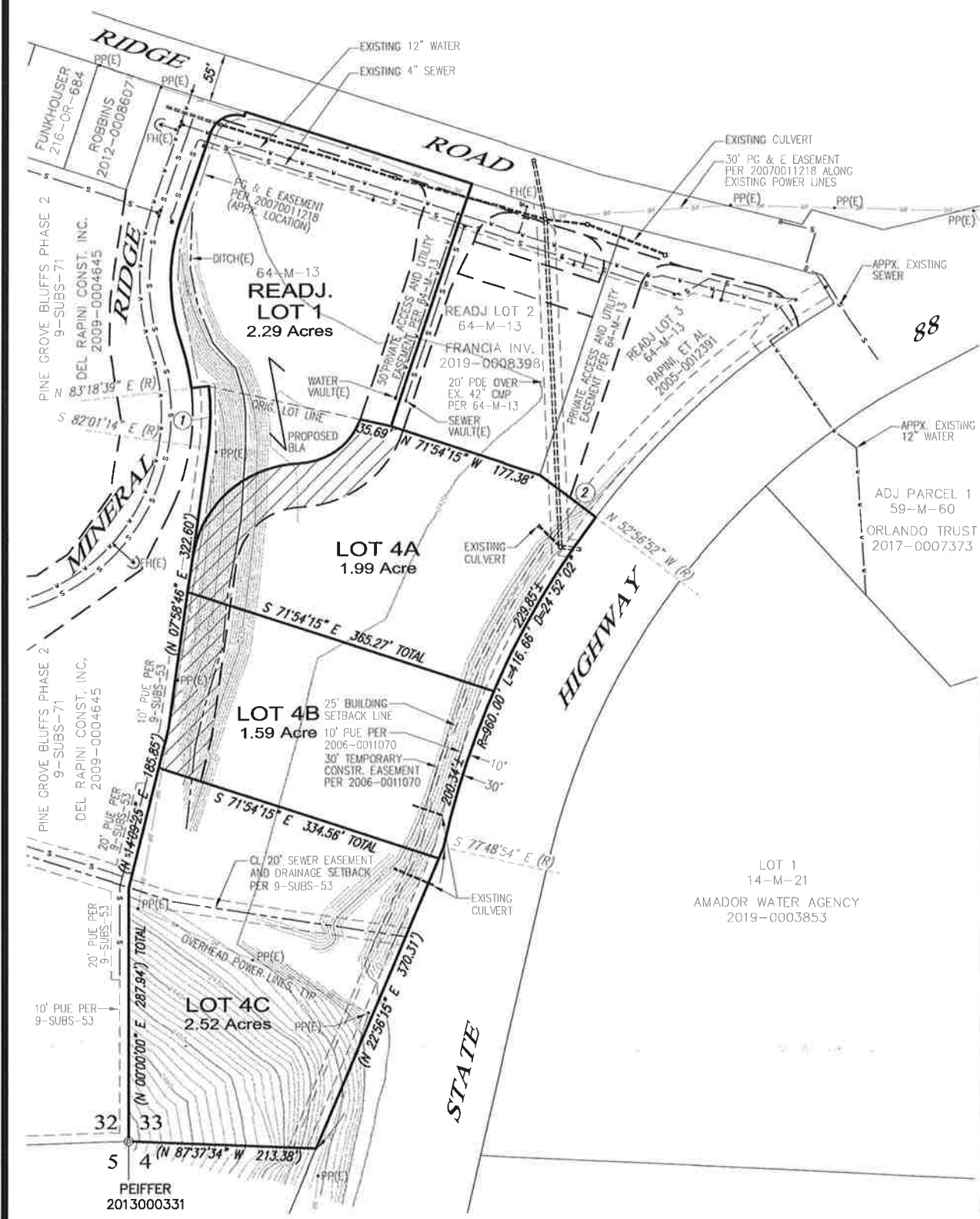
DATA TABLE	
1	(R=275.00' D=14'40"07" L=70.40')
2	N 52°56'52" W 79.38' TOTAL

GENERAL NOTES AND STATEMENTS

1. RECORD OWNER: DELBERT E. RAPINI, Trustee of the Delbert E. Rapini 2003 Separate Property Trust and DEL RAPINI CONSTRUCTION, INC., a California Corporation
ATTN: DELBERT E. RAPINI
5701 OLIVE RANCH ROAD
GRANITE BAY, CA 95746
(209) 408-2807
2. SURVEYOR: TOMA and ASSOCIATES
LICENSED LAND SURVEYORS
41 SUMMIT STREET
JACKSON, CA 95642
(209) 223.0156
3. A.P.N.: 030-740-022
4. ZONING: "C2" AND "R1" (EXISTING) "C2" (PROPOSED)
5. GENERAL PLAN: TC AND RL (EXISTING) TC (PROPOSED)
6. DEED REFERENCE: 2003-0015687, 2009-0004646 AND 2005-0012391
7. PROPOSED USE: COMMERCIAL
8. WATER: PINE GROVE COMMUNITY SERVICES DISTRICT (PGCSD)
9. SEWAGE DISPOSAL: AMADOR WATER AGENCY PINE GROVE WASTEWATER SYSTEM
10. FIRE PROTECTION: AMADOR FIRE PROTECTION DISTRICT (AFPD)
11. SCHOOL: AMADOR COUNTY UNIFIED SCHOOL DISTRICT (ACUSD)
12. UTILITIES: POWER WILL BE SERVED BY PACIFIC GAS AND ELECTRIC (PG&E)
TELEPHONE WILL BE SERVED BY CURRENT AREA PROVIDER
13. EASEMENTS: PUBLIC UTILITY EASEMENTS WILL BE FIVE FEET ON EACH SIDE OF ALL INTERIOR LOT LINES AND TEN FEET ALONG THE EXTERIOR BOUNDARY OF THIS PROJECT.
14. SETBACKS: SETBACKS WILL CONFORM TO AMADOR COUNTY ZONING REGULATIONS 19.24.040.
FRONT =20' DRAINAGE =20' (10' EACH SIDE) IF NECESSARY
REAR =0' MAX COVERAGE =80%
SIDE =0'
15. SPECIAL DISTRICTS: AMADOR FIRE PROTECTION DISTRICT
16. PHASING: FINAL MAPS MAY BE SUBMITTED IN MULTIPLE FILINGS.
17. FLOOD ZONE: NO PORTION OF THIS PROJECT LIES WITHIN AN AREA SUBJECT TO FLOOD WATER INUNDATION BY THE 100-YEAR FLOOD AND IS WITHIN ZONE "X" AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD RATE INSURANCE MAP FOR AMADOR COUNTY, CALIFORNIA DATED MAY 20, 2010.

PANEL 375 OF 700
MAP No.08005C0375F
18. MINIMUM LOT SIZE: MINIMUM LOT SIZE WILL BE 1.59± ACRE.
19. THE DEVELOPER PLANS TO CONSTRUCT ALL IMPROVEMENTS REQUIRED FOR THE CREATION OF LOTS AND FILING OF A FINAL MAP AS REQUIRED BY ALL APPLICABLE COUNTY CODES AND THE CONDITIONS OF APPROVAL OF THE TENTATIVE MAP.
20. THERE ARE NO PUBLIC AREAS OR SCENIC EASEMENTS PROPOSED ON THIS PROJECT.
21. THIS PROJECT DOES NOT LIE WITHIN 1000 FEET OF A MILITARY INSTALLATION, BENEATH A FLIGHT PATH OR WITHIN SPECIAL USE AIRSPACE.
22. NO FIELD SURVEY WAS MADE TO ESTABLISH TOPOGRAPHIC LINES AND FEATURES.
23. THE FOLLOWING EASEMENTS ARE NOTED IN PRELIMINARY REPORT ORDER No. 42215-PMG PREPARED BY WESTERN LAND TITLE COMPANY AND DATED JULY 27, 2021 AS AFFECTING THIS PROPERTY (SEE SAID PRELIMINARY REPORT FOR COMPLETE LIST OF EXCEPTIONS):

NO DOCUMENT REFERENCE RIGHTS OF THE PUBLIC TO STATE HIGHWAY 88
A-AG PATS-469 RESERVATIONS AND EXCEPTIONS
28-DEEDS T-107 FLUME, TUNNEL AND INCIDENTALS
64-M-13, 9-SUBS-53, 4-M-5 DEDICATIONS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC.
51-DEEDS-118 PGE EASEMENT
2008-0001170 PUE, TEMPORARY CONSTRUCTION EASEMENT
2007-0011217, 2007-0011218 ELECTRICAL FACILITIES
2014-0006769 PRIVATE ACCESS AND UTILITY EASEMENTS PER 64-M-13
2014-0006771 EASEMENT AGREEMENT



PEIFFER
2013000331

Broderick Forestry
Robert C. Broderick RPF#2482
330 Hwy. 49 Apt. 4
Sutter Creek, CA 95685
(209) 256-6454

Mr. Chuck Beatty, Director
Planning Department, County of Amador
810 Court Street
Jackson, CA 95642

September 11 2021

Re: APN 030-740-022; Del Rapini Construction Inc./Delbert Rapini Trust

Dear Mr. Beatty,

At the request of Delbert Rapini, I inspected the 6.39 acre, Amador County Parcel 030-740-022 in the SW ¼ of Section 33T.7 N., R.12 E., MDB& M in Pine Grove, CA.

Mr. Rapini plans on splitting this property for commercial development.

Section 21083.4 of the California Public Resources Code requires that an oak Woodland Assessment be performed to determine if there could be a significant effect on Oak Woodlands due to the proposed parcel split.

The Fish and Game Code of the State of California defines "Oak Woodland" under Section 1361(h) as "...an oak stand with a greater than 10 percent canopy cover or that may have historically supported greater than 10% canopy cover". Additional important information comes from PRC 21083(a), where it is stated that oaks included in the determination of oak woodland status cannot come from the Group A or Group B commercial species as defined by 14 CCR 895.1 (Forest Practice Rules). California Black Oak (*Quercus kelloggii*), a species common at the elevation of APN 038-010-117, is a Group B species under the Forest Practice Rules.

On August 24th, 2021, I visited the Rapini property. Approximately 60% of the parcel has no vegetation, it is bare dirt, some grasses and an occasional conifer seedling. It had been previously graded to bare dirt.

The south end of the parcel qualifies as oak woodland. It supports a continuous canopy of oak and scattered conifer trees, including: interior live oak (*Quercus wislizenii*), California black oak (*Quercus kelloggii*), Ponderosa pine (*Pinus ponderosa*) and Gray pine (*Pinus sabiniana*). Additionally, there is: toyon, poison oak, coyote brush, whiteleaf Manzanita.

Tree diameters range from 4 to 30-inches at breast height and 10 to 80-feet in height.

The proposed subdivision would split the property into three parcels. The two northern parcels are already devoid of tree cover, while approximately 2 acres of oak woodland remain on the southern parcel. There is no plan to remove any vegetation in this area due to steep topography. Therefore, no reduction in the current oak woodland would occur in relation to the proposed parcel split.

Sincerely



Robert C. Broderick
Registered Professional Forester #2482

Attachments

- 1) Amador County Assessor's Parcel Map Book 30. Page 74
- 2) Property Detail
- 3) Portion of Pine Grove USGS 7.5 Minute Quadrangle with parcel boundary.
- 4) Air Photo

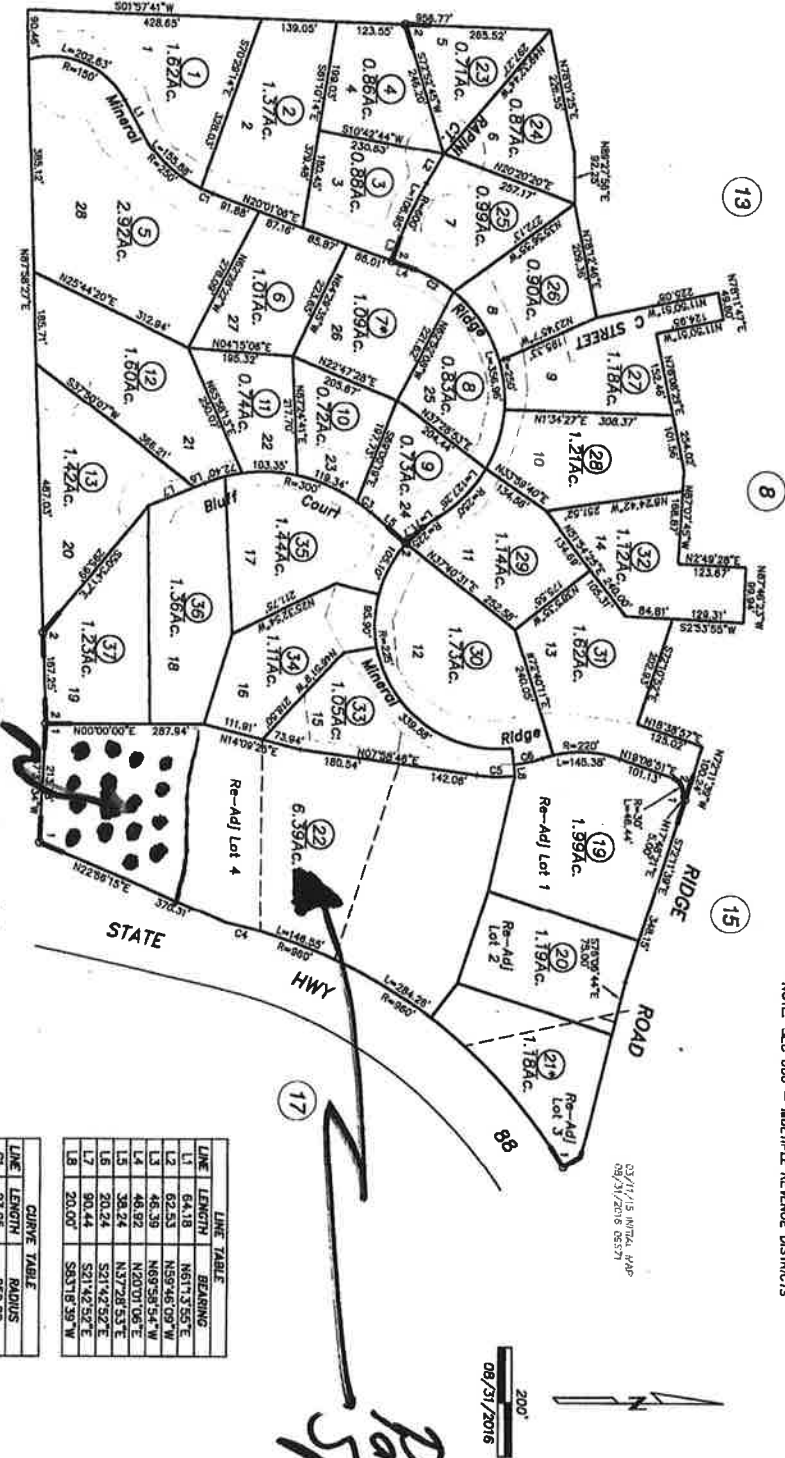
Rapini Parcel Split
Amador County Parcel 030-740-022
6.39 acres

POR. SEC. 32 & 33 T.7N., R.12E., M.D.B. & M.

TAX AREA CODE

30-74

NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



Map changes become effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in it's deed, is the property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- 1- R.M.Bk. 9, Sub.Pg. 53 (6/9/2000) New Open Bluffs
- 1- R.M.Bk. 64, Pg.13 (06/07/14)
- 2- R.M.Bk. 9, Sub.Pg. 71 (03/04/10) NEW OPEN BLUFFS PHASE 2

NOTE-Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles.

LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'09"W
L3	48.39	N69°58'54"W
L4	48.92	N20°11'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00	S53°18'59"W

LINE	CURVE TABLE	RADIUS
C1	23.95	250.00
C2	78.89	250.00
C3	31.83	300.00
C4	65.52	950.00
C5	70.40	275.00
C6	53.67	255.00

Assessor's Map Bk. 30, Pg. 74
 County of Amador, Calif.

Property Detail

Amador, CA JAMES B. ROONEY, ASSESSOR

Parcel # (APN): **030-740-022-000** Use Description: **VACANT**
 Parcel Status: **ACTIVE**
 Owner Name: **DEL RAPINI CNSTRCTN INC/RAPINI DELBERT E SP TRUST**

Mailing Address: **5701 OLIVE RANCH RD GRANITE BAY CA 95746**

Situs Address:

Legal

Description: **64M13 RE-ADJ LOT 4****ASSESSMENT**

Total Value: \$783,504	Use Code: CV	Zoning:
Land Value: \$783,504	Tax Rate Area: 052087	Census Tract: 4.01/1
Impr Value:	Year Assd: 2021	Improve Type:
Other Value:	Property Tax:	Price/SqFt:
% Improved	Delinquent Yr	
Exempt Amt:	HO Exempt?: N	

SALES HISTORY

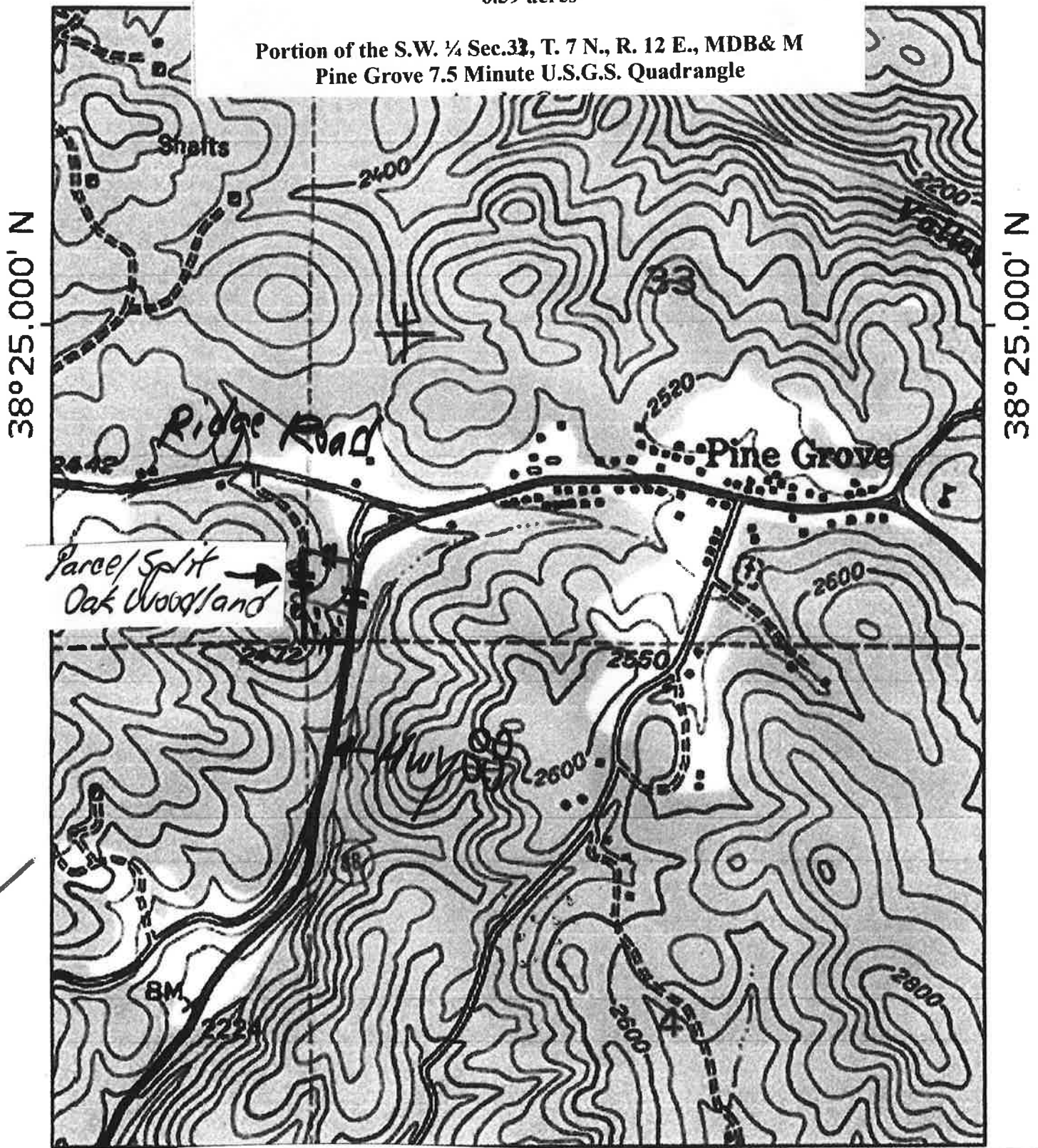
	<u>Sale 1</u>	<u>Sale 2</u>	<u>Sale 3</u>	<u>Transfer</u>
Recording Date:				08/07/2014
Recorded Doc #:				2014I-PM2845
Recorded Doc Type:				
Transfer Amount:				
Sale 1 Seller (Grantor):				
1st Trst Dd Amt:	Code1:	2nd Trst Dd Amt:	Code2:	

PROPERTY CHARACTERISTICS



Lot Acres: 6.390	Year Built:	Fireplace:
Lot SqFt: 278,348	Effective Yr:	A/C:
Bldg/Liv Area:	Total Rooms:	Heating:
Units:	Bedrooms:	Pool:
Buildings:	Baths (Full):	Park Type:
Stories:	Baths (Half):	Spaces:
Style:	Garage SqFt:	Site Infnce:
Construct:		
Quality:		Timber Preserve:
Building Class:		Ag Preserve:
Condition:		
Other Rooms:		

Rapini Parcel Split
Amador County Parcel 030-740-022
6.39 acres

Portion of the S.W. ¼ Sec. 33, T. 7 N., R. 12 E., MDB&M
Pine Grove 7.5 Minute U.S.G.S. Quadrangle



LEGEND

-  Parcel Boundary
-  Oak Woodland

Scale
1:12,000





Portion of the S.W. ¼ Sec.33, T. 7 N., R. 12 E., MDB& M
Pine Grove 7.5 Minute U.S.G.S. Quadrangle
Amador County,

LEGEND



Parcel Boundary



Oak Woodland



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY
PLANNING DEPARTMENT

PHONE: (209) 223-6380
FAX: (209) 257-5002
WEBSITE: www.amadorgov.org
E-MAIL: planning@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

Delbert E. Rapini
5701 Olive Ranch Rd.
Granite Bay, CA 95746

October 29, 2021

Re: Tentative Parcel Map 2903 Rapini
Assessor's Parcel Numbers: 030-740-022

To whom it may concern,

Please see the enclosed documentation for your copy of the receipt for the payment to the Amador County Planning Department for review of Tentative Parcel Map 2903, for parcel with APN 030-740-022. The total payment due to the Planning Department was \$5,271.00 completed in one payment as referenced by the enclosed receipt. Please do not hesitate to call (209)223-6380 if you have further questions.

Thank you,

Ruslan Bratan
Planner | Amador County Planning Department
810 Court Street, Jackson, CA 95642
rbratan@amadorgov.org | (209) 223-6332

White Payor - Pink Auditor / Controller - Yellow Issuing Department

OFFICIAL RECEIPT

COUNTY OF AMADOR
Jackson, California

Date October 27 2021

RECEIVED FROM Delbert E. Rapini

ADDRESS 5701 Olive Ranch Rd. Granite Bay, CA 95746

Five Thousand Two Hundred Seventy One DOLLARS (\$5,271.00)

For T.P.M. 2903 Rapini APN: 030-740-022 (sec receipt #93838 ZC & GPA)
(Parcel map application \$4,511.00, CEQA \$710.00, Recording admin fee \$50.00)

ACCOUNT			How Paid ✓	
Amount Due	<u>5271</u>	<u>00</u>	Cash	
Amount Paid	<u>5271</u>	<u>00</u>	Check	<u>3377</u>
			Money Order	
			Credit Card	

By [Signature] Department
[Signature] Deputy

№ 93837

White Payor - Pink Auditor /Controller - Yellow Issuing Department

OFFICIAL RECEIPT
COUNTY OF AMADOR
Jackson, California

Date October 27 2021

RECEIVED FROM Apex Energy Solutions

ADDRESS 604 Sutter Street STE 250 Folsom, CA 95630

Three Thousand Six Hundred forty-four and ~~xx~~ 100/100 DOLLARS (\$ 3,644.00)

For Applications for ZC-21;10-2 R1 to C2 and GPA-21;10-2 RL to TC APN 030-740-022
(Major ZC \$1,901 Minor GPA \$1,743. CEQA and Recording admin fee under #93837)

ACCOUNT		How Paid ✓	
Amount Due	<u>3,644 00</u>	Cash	
Amount Paid	<u>3,644 00</u>	Check	<u>9377</u>
		Money Order	
		Credit Card	

By Planning Department
[Signature] Deputy

№ 93838

Ref. No: G 048008488

OFFICIAL RECEIPT

COUNTY OF AMADOR
Jackson, California

Date October 29 2021

RECEIVED FROM Apex Energy Solutions LLC

ADDRESS 604 Sutter Street STE 250 Folsom, CA 95630

One Thousand Eight Hundred Twenty-Nine and ^{xx}/₁₀₀ DOLLARS (\$ 18,29.00)

For Use Permit application for a Battery Energy Storage Facility APN: 030-740-02
(\$1,069.00 UP application, \$710 CEQA, \$50 Recording admin fee)

ACCOUNT			How Paid ✓	
Amount Due	<u>1829</u>	<u>00</u>	Cash	
Amount Paid	<u>1829</u>	<u>00</u>	Check	<u>9392</u>
			Money Order	
			Credit Card	

Planning Department
By Ruslan Bratan Deputy

No 93839



PLANNING DEPARTMENT
Community Development Agency

County Administration Center
810 Court Street ■ Jackson, CA 95642-2132
Telephone: (209) 223-6380
Website: www.amadorgov.org
E-mail: planning@amadorgov.org

APPLICATION PROCEDURE FOR USE PERMIT

A Public Hearing before the Planning Commission will be scheduled after the following information has been completed and submitted to the Planning Department Office:

1. Complete the following:

Name of Applicant Apex Energy Solutions, LLC

Mailing Address 604 Sutter Street, Suite 250, Folsom, CA 95630

Cedar 1 Battery

Phone Number 916-985-9461

Assessor Parcel Number 030-740-022

Use Permit Applied For:

- Private Academic School
- Private Nonprofit Recreational Facility
- Public Building and Use(s)
- Airport, Heliport
- Cemetery
- Radio, Television Transmission Tower
- Club, Lodge, Fraternal Organization
- Dump, Garbage Disposal Site
- Church
- OTHER Battery Energy Storage Facility

2. Attach a letter explaining the purpose and need for the Use Permit.

3. Attach a copy of the deed of the property (can be obtained from the County Recorder's Office).

4. If Applicant is not the property owner, a consent letter must be attached.

5. Assessor Plat Map (can be obtained from the County Surveyor's Office).

6. Plot Plan (no larger than 11" X 17") of parcel showing location of request in relation to property lines, road easements, other structures, etc. (see Plot Plan Guidelines). Larger map(s) or plans may be submitted if a photo reduction is provided for notices, Staff Reports, etc. The need is for easy, mass reproduction.

7. Planning Department Filing Fee: \$ 1829

Environmental Health Review Fee: \$ _____

Public Works Agency Review Fee: \$ _____

Amador Fire Protection District Fee: \$ _____

8. Complete an Environmental Information Form.

9. Sign Indemnification Form.

MEMORANDUM

Date: October 26, 2021

From: Anika Larson, Project Manager, Apex Energy Solutions, LLC.

To: Krista Ruesel, Amador County Planning Department

Re: Purpose Letter – Cedar 1 Battery Project

Dear Krista,

In effort to reduce greenhouse gas (GHG) emission and expand the availability of alternative energy resources locally and regionally, the project proponent/applicant, Apex Energy Solutions, LLC. is proposing to develop the Cedar 1 Battery Project (Project), an up to ten (10)- megawatt alternating current (MWAC)/ forty (40)-megawatt hour (MWh) Battery Energy Storage System (BESS or ESS) facility on approximately two and one half (2.5) undeveloped acres, in the unincorporated region of Amador County, California on APN 030-740-022.

The applicant is requesting County of Amador (“County”) review and approval of a Conditional Use Permit (CUP) for the construction of a battery energy storage facility. The project would be constructed in one (1) phase that would be built over an up to six (6) month period and is anticipated to operate for a period of up to 30 years. After the 30-year project service life, the project would be decommissioned, and the project site returned to its pre-project condition. The BESS structures would not be designated for permanent occupancy and the equipment will be serviced on in intermittent basis by technicians.

The project parcel has a General Plan designation of TC (Local Service Center) and is zoned C2 (Heavy Commercial). According to Table 2-1 in Section 18.10.020 of the Amador County Development Ordinance, “Energy Generation Facilities, Wind Farms, Biomass Fuel Manufacturing (off-site energy use)” are allowed uses with a Conditional Use Permit (CUP). As such, battery storage facilities are allowed in this zone with an approved Conditional Use Permit through the Amador County Planning and Community Development Department. Therefore, this Conditional use Permit application is being filed for consideration by the Planning Commission.

X

Anika Larson
Project Manager

MEMORANDUM

Date: October 18, 2021

From: Anika Larson, Project Manager, Apex Energy Solutions, LLC.

To: Krista Ruesel, Amador County Planning Department

Re: Consent Letter – Cedar 1 Battery Project

Dear Krista,

Regarding APN: 030-740-022 located in Amador County, I, Del Rapini Construction, Inc., owner of the property, hereby grant authority to Apex Energy Solutions, LLC to access and submit materials required for permitting and development of the Cedar Energy Storage Project.

X

Sign & Date: Del Rapini

ENVIRONMENTAL INFORMATION FORM

To be completed by applicant; use additional sheets as necessary.
Attach plans, diagrams, etc. as appropriate.

GENERAL INFORMATION

Project Name: Cedar 1 Battery Project

Date Filed: _____ File No. _____

Applicant/

Developer Apex Energy Solutions, LLC Landowner Del Rapini Construction Inc./Rapini Delbert E SP Trust

Address 604 Sutter Street, Suite 250, Folsom, CA 95630 Address 5701 Olive Ranch Rd, Granite Bay, CA 95746

Phone No. 916-985-9461 Phone No. _____

Assessor Parcel Number(s) 030-740-022

Existing Zoning District C2

Existing General Plan TC

List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state, and federal agencies Grading Permit, Building Permit, Dust Control Plan,

Encroachment Permit, General Construction Storm Water Permit Notice of Intent, Storm Water Pollution Prevention Plan

WRITTEN PROJECT DESCRIPTION (Include the following information where applicable, as well as any other pertinent information to describe the proposed project):

1. Site Size
2. Square Footage of Existing/Proposed Structures
3. Number of Floors of Construction
4. Amount of Off-street Parking Provided (provide accurate detailed parking plan)
5. Source of Water
6. Method of Sewage Disposal
7. Attach Plans
8. Proposed Scheduling of Project Construction
9. If project to be developed in phases, describe anticipated incremental development.
10. Associated Projects
11. Subdivision/Land Division Projects: Tentative map will be sufficient unless you feel additional information is needed or the County requests further details.
12. Residential Projects: Include the number of units, schedule of unit sizes, range of sale prices or rents and type of household size expected.
13. Commercial Projects: Indicate the type of business, number of employees, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities.
14. Industrial Projects: Indicate type, estimated employment per shift, and loading facilities.
15. Institutional Projects: Indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project.
16. If the project involves a variance, conditional use permit, or rezoning application, state this and indicate clearly why the application is required.

ADDITIONAL INFORMATION Are the following items applicable to the project or its effects? Discuss below all items checked "yes" (attach additional sheets as necessary).

YES NO


- | | | |
|-------------------------------------|-------------------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17. Change in existing features or any lakes or hills, or substantial alteration of ground contours. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 18. Change in scenic views or vistas from existing residential areas, public lands, or roads. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 19. Change in pattern, scale, or character of general area of project. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 20. Significant amounts of solid waste or litter. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 21. Change in dust, ash, smoke, fumes, or odors in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 22. Change in lake, stream, or ground water quality or quantity, or alteration of existing drainage patterns. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 23. Substantial change in existing noise or vibration levels in the vicinity. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 24. Site on filled land or has slopes of 10 percent or more. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 25. Use or disposal of potentially hazardous materials, such as toxic substances, flammables, or explosives. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 27. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.). |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 28. Does this project have a relationship to a larger project or series of projects? |

ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site (cannot be returned).
30. Describe the surrounding properties, including information on plants and animals and any cultural, historical, or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity (cannot be returned).
31. Describe any known mine shafts, tunnels, air shafts, open hazardous excavations, etc. Attach photographs of any of these known features (cannot be returned).

Certification: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date 10/27/2021


 (Signature)
 For Apex Energy Solutions, LLC

Environmental Information Form: Additional Information

18. The project is located along Highway 88 and Ridge Road, directly behind a Dollar General. A security fence will be placed around the project area and screens can be applied to reduce the visual impacts from the roadway.

25. Lithium-Ion batteries contain potentially hazardous materials but are completely contained within the containers. Fire Safety information for the batteries is included in this application describing the several safety precautions instilled in the battery containers.

29. The project site is vacant with a flat topography. There are some internal dirt "roads" throughout the property. Most of the site, the northern end, is virtually stripped of vegetation and is therefore not appropriate habitat for any local wildlife. The southern end of the site is lightly forested and will therefore not be used for the project. A cultural report can be found in this application, no significant findings were made.

30. The surrounding properties are further discussed in the project description.

31. There are no known mine shafts, tunnels, air shafts, open hazardous excavations or similar on the project site.

INDEMNIFICATION

Project: Cedar 1 Battery

In consideration of the County's processing and consideration of the application for the discretionary land use approval identified above (the "Project") the Owner and Applicant, jointly and severally, agree to defend, indemnify, and hold harmless the County of Amador from any claim, action, or proceeding against the County to attack, set aside, void or annul the Project approval, or any action relating related to the Project approvals as follows:

1. Owner and Applicant shall defend, indemnify, and hold harmless the County and its agents, officers or employees from any claim, action, or proceeding against the County or its agents, officers or employees (the "County") to attack, set aside, void or annul the Project approval, or any prior or subsequent determination regarding the Project, including but not limited to determinations related to the California Environmental Quality Act, or Project condition imposed by the County. The Indemnification includes, but is not limited to, damages, fees, and or costs, including attorneys' fees, awarded against County. The County in its sole discretion may hire outside counsel to handle its defense or may handle the matter internally. Indemnification also includes paying for the County's defense if it elects to hire outside counsel. Indemnification also includes compensating the County for staff time associated with the litigation. The obligations under this Indemnification shall apply regardless of whether any permits or entitlements are issued.

2. The County may, within its unlimited discretion, participate in the defense of any such claim, action, or proceeding if the County defends the claim, action, or proceeding in good faith.

3. The Owner and Applicant shall not be required to pay or perform any settlement by the County of such claim, action, or proceeding unless the settlement is approved in writing by Owner and Applicant, which approval shall not be unreasonably withheld.

IN WITNESS WHEREOF, by their signature below, Owner and Applicant hereby acknowledge that they have read, understand, and agree to perform the obligations under this Indemnification.

Applicant:


Signature

Owner (if different than Applicant):


Signature

PARCEL MAP NO. 2845 BOUNDARY LINE ADJUSTMENT

OWNER'S CERTIFICATE

THE UNDERSIGNED HEREBY CERTIFIES THAT THEY ARE THE OWNERS OF REAL PROPERTY SHOWN HEREON, AND THAT THEY HAVE MADE THE NECESSARY PREPARATION AND RECOGNITION OF THIS MAP AND IN CONSIDERATION FOR AND AS A CONDITION OF THE APPROVAL OF SAID MAP THEY DO HEREBY:

- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE EASEMENTS FOR USE AS A PUBLIC HIGHWAY OVER EACH AND EVERY CONVENIENCE EASEMENT DESIGNATED AS "ACCESS AND PUBLIC UTILITY EASEMENT," AND "EDGE ROAD" AND
- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE AS A PUBLIC UTILITY EASEMENT IN, ON, OVER, ABOVE OR UNDER EACH AND EVERY PART OF SAID SUBDIVISION DESIGNATED ON THIS MAP AS A "ROAD AND UTILITY EASEMENT" OR "ACCESS AND PUBLIC UTILITY EASEMENT" AND TO GRANT TO THE RECORD OWNERS OF EACH AND EVERY SAID LOT OR PARCEL OF SAID SUBDIVISION, AS SAID LOTS ARE SOLD OR FEE TITLE CONVEYED, AND THAT NONE OF SAID LOTS SHALL BE LEASED, SOLD OR CONVEYED UNLESS SUCH NON-EXCLUSIVE EASEMENT FOR ROAD PURPOSES AND INGRESS AND EGRESS IS GRANTED OR RESERVED PRIOR TO OR CONCURRENT WITH SAID CONVEYANCE OR SALE (UNLESS SAID PORTION OF LAND HAS BEEN DEDICATED TO AND ACCEPTED BY SAID COUNTY AS A PUBLIC HIGHWAY) SO AS TO PERMIT AND PROVIDE FOR SAID OWNERS AND THEIR AGENTS, EMPLOYEES, INVITEES AND LICENSEES BETWEEN AND AMONG ALL OF SAID PARCELS OR LOTS WITHIN SAID SUBDIVISION; AND
- PROMISE, COVENANT AND AGREE TO AND WITH SAID COUNTY THAT TO GRANT OR RESERVE A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER ALL THAT PORTION OF SAID SUBDIVISION AS A PUBLIC UTILITY EASEMENT OR "ACCESS EASEMENT" TO THE RECORD OWNERS OF EACH AND EVERY SAID LOT OR PARCEL OF SAID SUBDIVISION, AS SAID LOTS ARE SOLD OR FEE TITLE CONVEYED, AND THAT NONE OF SAID LOTS SHALL BE LEASED, SOLD OR CONVEYED UNLESS SUCH NON-EXCLUSIVE EASEMENT FOR ROAD PURPOSES AND INGRESS AND EGRESS IS GRANTED OR RESERVED PRIOR TO OR CONCURRENT WITH SAID CONVEYANCE OR SALE (UNLESS SAID PORTION OF LAND HAS BEEN DEDICATED TO AND ACCEPTED BY SAID COUNTY AS A PUBLIC HIGHWAY) SO AS TO PERMIT AND PROVIDE FOR SAID OWNERS AND THEIR AGENTS, EMPLOYEES, INVITEES AND LICENSEES BETWEEN AND AMONG ALL OF SAID PARCELS OR LOTS WITHIN SAID SUBDIVISION; AND
- MAKE AN IRREVOCABLE OFFER TO DEDICATE TO THE PUBLIC FOR ITS USE AND CONVENIENCE EASEMENTS FOR RIGHT-OF-WAY AND UTILITY MAINTENANCE FIVE FEET WIDE, OUTSIDE OF AND CONTIGUOUS TO ALL CUT AND FILL SLOPES OF ALL ROADS OR HIGHWAYS, OR ANY PORTION THEREOF, AND TO PERFORM NECESSARY WORK TO PRESERVE THE ROADWAY AND MAINTAIN THE SLOPES. THE PORTIONS HEREON COVERED BY SAID EASEMENTS SHALL BE KEPT CLEAR.

SAID OFFERS TO DEDICATE AND AGREEMENTS AND COVENANTS ARE IRREVOCABLE AND SHALL RUN WITH THE LAND, SHALL BE BOUND UPON THE SUCCESSORS, HEIRS OR ASSIGNS AND SHALL CONTINUE IN FULL FORCE AND EFFECT UNTIL THE SAME HAVE BEEN FULLY ABANDONED AND TERMINATED BY THE BOARD OF SUPERVISORS OF SAID COUNTY. SAID BOARD, IN REFLECTING ANY AND ALL OF SAID OFFERS TO DEDICATE, SHALL RETAIN THE RIGHT TO ACCEPT BY RESOLUTION ANY OR ALL OF SAID OFFERS AT ANY TIME HEREAFTER.

DELBERT E. RAPINI, Trustee of the
DEL RAPINI CONSTRUCTION, INC.
Trust utt dated August 20, 2003

Delbert E. Rapini
DEL RAPINI CONSTRUCTION, INC.
a California Corporation
by Delbert E. Rapini, President

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
ut dated August 20, 2003
200300115687 and 20090004646
o n d
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N. R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA
TOMA & ASSOCIATES, INC.
ENGINEERING - SURVEYING - PLANNING
41 Summit Street, Jackson, CA 95642
(916) 224-1186

June, 2014

CLERK OF THE BOARD OF SUPERVISORS' CERTIFICATE

I, JENNIFER BURNS, HEREBY CERTIFY THAT I AM THE CLERK OF THE BOARD OF SUPERVISORS OF AMADOR COUNTY, CALIFORNIA, AND THAT THE BOARD, BEING THE PROPER APPROVING BODY, HAS ACCEPTED PARCEL MAP No. 2845 AND ACCEPTS ON BEHALF OF THE PUBLIC ALL LANDS AND EASEMENTS SHOWN HEREON AND OFFERED FOR DEDICATION FOR LIGHT, AIR AND PUBLIC UTILITY PURPOSES.

THE BOARD, AT THIS TIME, REJECTS ALL OTHER OFFERS OF DEDICATION, INCLUDING ROAD OR ACCESS EASEMENTS, APPEARING ON THIS MAP. SUCH OFFERS MAY BE ACCEPTED BY RESOLUTION OF SAID BOARD AT ANY TIME HEREAFTER.

DATE: July 24, 2014

Jennifer Burns
JENNIFER BURNS BY: _____ DEPUTY
CLERK OF THE BOARD OF SUPERVISORS

NOTARY'S STATEMENT

STATE OF CALIFORNIA
COUNTY OF AMADOR
ON July 8, 2014 BEFORE ME, MARSHA HAMM, NOTARY PUBLIC, PERSONALLY APPEARED Delbert E. Rapini, who is known to me, and whose name(s) I have subscribed to in the foregoing instrument, and acknowledged to me that he/she/it is/are subscribed to the within instrument and acknowledged to me that he/she/it signed the instrument, and that he/she/it is/are the person(s) or entity upon behalf of which the person(s) acted, executed the instrument.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

SIGNATURE: Marsha Hamm NAME: MARSHA HAMM
COUNTY: Amador COMM. EXP: 6/26/15

SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE PARCEL MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF DELBERT E. RAPINI IN MAY OF 2014. HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: July 1, 2014

Ciro L. Toma
CIRO L. TOMA, PLS 3570
MY LICENSE EXPIRES 6-30-2016



COUNTY SURVEYOR'S STATEMENT

I HAVE EXAMINED THIS PARCEL MAP. THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF ANY, AND ANY ALTERATIONS THEREON. ALL PROVISIONS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF ANY, HAVE BEEN COMPLIED WITH. I AM SATISFIED THE MAP IS TECHNICALLY CORRECT.

DATE: July 15, 2014

George E. Allen
GEORGE E. ALLEN, L.S. 4951
AMADOR COUNTY SURVEYOR
MY LICENSE EXPIRES 12-31-2015



PLANNING DEPARTMENT STATEMENT

I HAVE EXAMINED PARCEL MAP No. 2845 AND HAVE VERIFIED THAT IT IS SUBSTANTIALLY THE SAME AS THE APPLICATION APPROVED BY THIS DEPARTMENT AND CONFORMS TO THE LOCAL GENERAL PLAN, ANY APPLICABLE SPECIFIC PLAN AND ZONING.

DATE: July 14, 2014

Susan C. Graliva
SUSAN C. GRALIVA
AMADOR COUNTY PLANNING DIRECTOR

RECORDER'S STATEMENT

FILED THIS 17th DAY OF AUGUST, 2014 AT 10:00 A.M.
THE AMADOR COUNTY OFFICE OF MAPS AND PLATS AT PAGE 12
VESTED AS PER CERTIFICATE No. 11102 AND INCLUDED IN THIS PARCEL MAP BEING
SEE: 4202 pd-filed ON FILE IN THIS OFFICE

INSTRUMENT No.: 2014-0005201

Kimberly L. Grady
KIMBERLY L. GRADY, DEPUTY
AMADOR COUNTY RECORDER

PARCEL MAP No. 2845 BOUNDARY LINE ADJUSTMENT

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
udt dated August 20, 2003
20030015687 and 20090004646
and
a n d
DEL RAPINI CONSTRUCTION, INC.
a California Corporation
20050012391

BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA



June, 2014

Scale: 1"=100'

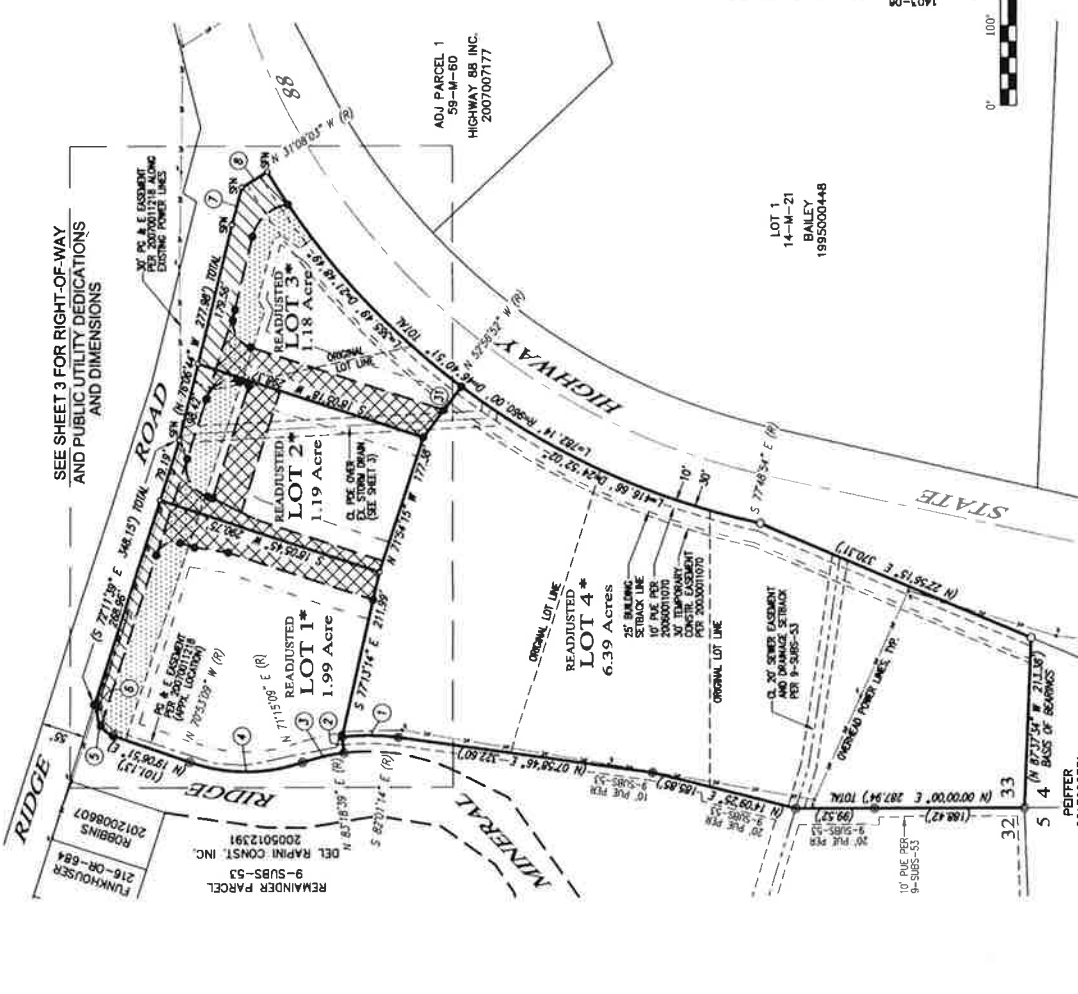
NOTES and LEGEND

- DENOTES 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 SET ON THIS SURVEY
- DENOTES FOUND 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 PER 9-SUBS-53
- DENOTES FOUND 5/8" STEEL ROD TAGGED LS 3570 PER 9-SUBS-53 AND/OR 42-M-70
- DENOTES FOUND 2" IRON PIPE AT SECTION CORNER PER 9-SUBS-55, 52-M-87 AND 42-M-70
- DENOTES A CALCULATED POINT ONLY, NOTHING FOUND OR SET
- DENOTES OVERHEAD POWER LINES
- () DENOTES RECORD DATA PER 9-SUBS-53
- CL DENOTES CENTERLINE OR DISTANCE TO CENTERLINE
- RW DENOTES RIGHT-OF-WAY OR DISTANCE TO RIGHT-OF-WAY
- PLU DENOTES PUBLIC UTILITY EASEMENT OR DISTANCE TO PUBLIC UTILITY EASEMENT
- PDE DENOTES PRIVATE STORM DRAIN EASEMENT
- SFN DENOTES SEARCHED FOUND NOTHING
- BSL DENOTES BUILDING SETBACK LINE
- [Hatched Box] DENOTES ACCESS AND PUBLIC UTILITY EASEMENT AREA ALONG RIDGE ROAD TO BE DEDICATED TO AMADOR COUNTY (SEE SHEET 3)
- [Dotted Box] DENOTES PUBLIC UTILITY EASEMENT AND PUBLIC FACILITIES EASEMENT TO BE DEDICATED TO AMADOR COUNTY (SEE SHEET 3)
- [Cross-hatched Box] DENOTES PRIVATE ACCESS AND UTILITY EASEMENT AREA (SEE SHEET 3)
- * ANY DEVELOPMENT OVER 22,000 SQUARE FEET OR GENERATING MORE THAN 1567 TRIPS PER DAY CUMULATIVELY FOR THE PARCELS ON THIS MAP WILL REQUIRE FURTHER EVALUATION TO DETERMINE FAIR SHARE CONTRIBUTION FOR MITIGATION OF IMPACTS TO THE INTERSECTION OF RIDGE ROAD AND STATE HIGHWAY 88 (CONDITION NO. 8 OF PINE GROVE SHOPPING CENTER ZONE CHANGE MITIGATION MEASURES).

BASIS OF BEARINGS IS REFERRED TO THE SOUTH LINE OF READJUSTED PARCEL 4 AS SHOWN ON 9-SUBS-53, THE BEARING OF WHICH IS N 87°37'34" W.

Circle	DATA TABLE
1	(R=275.00' D=146.00' L=70.40') 17
2	(S 83°18'59" W (0) 20.00') 18
3	(S 87°05'00" E 14.04' 19
4	(R=255.00' D=170.00' L=53.67') 20
5	(R=250.00' D=175.14' L=145.30') 21
6	(R=50.00' D=85.41' L=46.44') 22
7	(N 17°49'21" E 5.00') 23
8	(N 74°52'28" W 48.25') 24
9	(N 31°08'03" W 37.96') 25
10	(R=30.00' D=35.30' L=26.17') 26
11	(R=30.00' D=50.00' L=26.27') 27
12	(R=24.00' D=65.53' L=37.70') 28
13	(N 17°54'32" W 18.60') 29
14	(N 16°05'45" E 6.74' 30
15	(R=30.00' D=85.48' L=46.13') 31
16	(R=33.00' D=87.07' L=51.94') 32
17	(N 16°05'18" E 11.00' 33

THE FOLLOWING EXCEPTIONS WERE NOTED IN PRELIMINARY REPORT ORDER No. 404-10921 DATED JANUARY 16, 2014, 9006-2159, 9006-2160 AND 9006-2161 DATED MAY 12, 2014 PREPARED BY PLACER TITLE COMPANY AS AFFECTING THIS PROPERTY:
2-PAIS-469
US PATENT DATED 1-05-1882, AND INCIDENTALS PER DEED FROM AHARTY TO GOLD TOP MINE COMPANY
EASEMENTS, DEDICATIONS, AND INCIDENTALS PERTAINING TO PETERSON SUBDIVISION
4-M-5
PG & E EASEMENT
51-05E05-118
42-M-70
EASEMENTS, NOTES AND RECTALS PERTAINING TO MAP
2096001070
PLU AND TEMPORARY CONSTRUCTION EASEMENT
2007001218
ELECTRICAL EASEMENT AND ACCESS EASEMENT
9-SUBS-53
DEDICATIONS, ACCESS EASEMENTS, PUE'S, DRAINAGE AND 85L, RW MAINTENANCE AND INCIDENTALS



PARCEL MAP No. 2845 BOUNDARY LINE ADJUSTMENT

for
DELBERT E. RAPINI
Trustee of the Delbert E. Rapini 2003 Separate Property Trust
dated August 20, 2003
20030015687 and 20090004646

and
DEL RAPINI CONSTRUCTION, INC.,
a California Corporation
20050012391
BEING A PORTION OF THE SW 1/4 SECTION 33, T. 7 N., R. 12 E., M. D. M.
COUNTY OF AMADOR, STATE OF CALIFORNIA



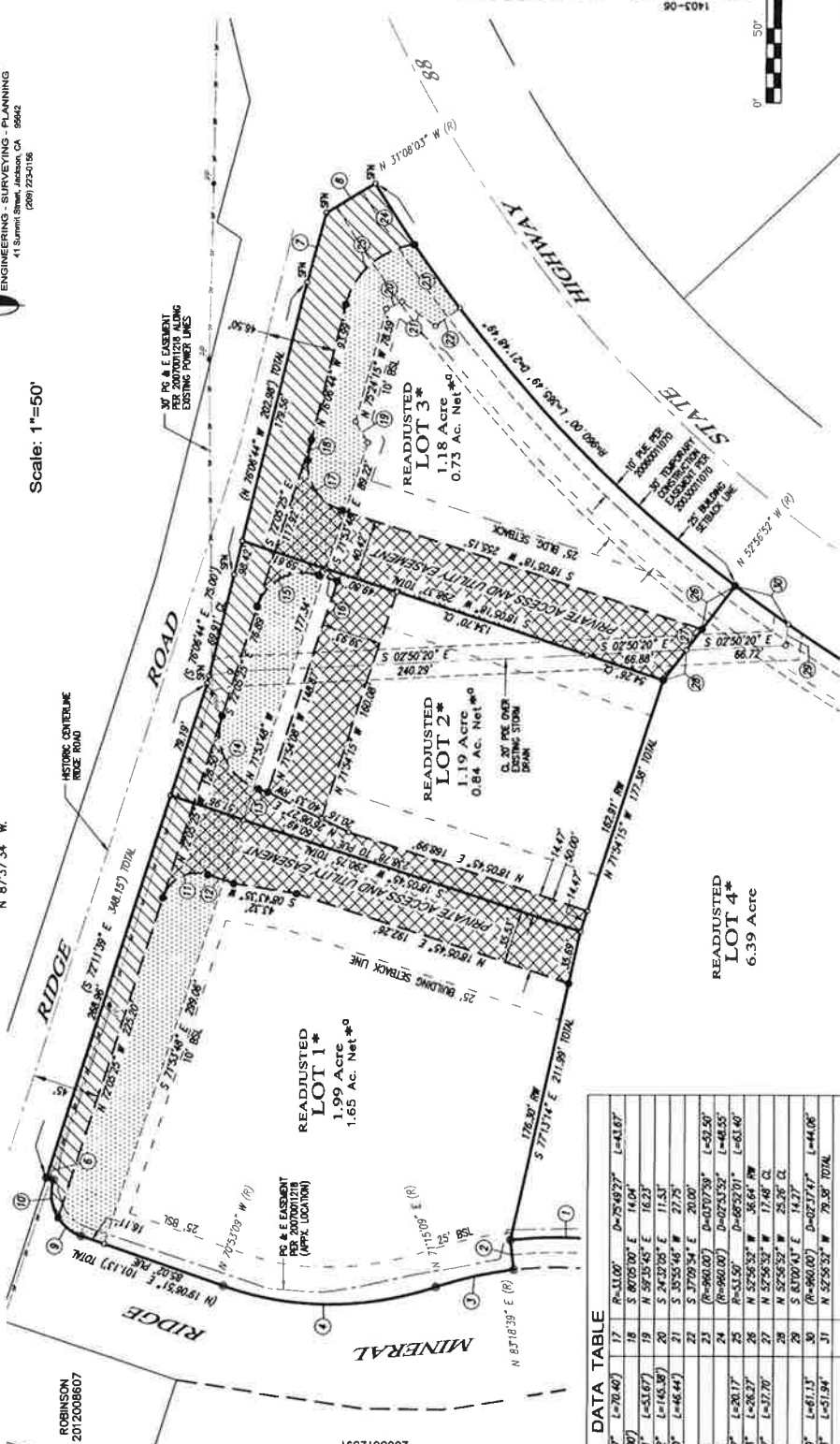
June, 2014

NOTE:
*o DENOTES ACCESS AND PUBLIC UTILITY EASEMENT AREA ALONG RIDGE ROAD TO BE DEDICATED TO AMADOR COUNTY EASEMENT TO BE DEDICATED TO AMADOR COUNTY
* DENOTES PRIVATE ACCESS AND UTILITY EASEMENT AREA
SEE SHEET 2 FOR EXCEPTIONS AND EASEMENT INFORMATION
*o NET AREA IS CROSS AREA LESS PUBLIC/PRIVATE ACCESS EASEMENT AREAS ONLY. PUBLIC UTILITY/FACILITIES EASEMENT AREA IS NOT INCLUDED.
* ANY REWORKMENT OVER 20,000 SQUARE FEET OR GENERATING MORE THAN 1507 TRIPS PER DAY CUMULATIVELY FOR THE PARCEL SHALL BE SUBJECT TO AN EVALUATION TO DETERMINE FAIR SHARE CONTRIBUTION FOR MITIGATION OF IMPACTS TO THE INTERSECTION OF RIDGE ROAD AND STATE HIGHWAY 88 (CONDITION No. 8 OF PNE GROVE SHOPPING CENTER ZONE CHANGE MITIGATION MEASURES).
BASIS OF BEARINGS IS REFERRED TO THE SOUTH LINE OF READJUSTED PARCEL 4 AS SHOWN ON 9-SUBS-53, THE BEARING OF WHICH IS N 87°37'34" W.



- NOTES and LEGEND**
- 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 SET ON THIS SURVEY
 - 3/4" REBAR WITH PLASTIC CAP STAMPED PLS 3570 PER 9-SUBS-53
 - 5/8" STEEL ROD TAGGED LS 3570 PER 9-SUBS-53 AND/OR 42-M-70
 - 2" IRON PIPE AT SECTION CORNER PER 9-SUBS-55, 52-M-87 AND 42-M-70
 - DENOTES A CALCULATED POINT ONLY, NOTHING FOUND OR SET
 - DENOTES OVERHEAD POWER LINES
 - () DENOTES RECORD DATA PER 9-SUBS-53
 - () DENOTES CENTERLINE OR DISTANCE TO CENTERLINE
 - RW DENOTES RIGHT-OF-WAY OR DISTANCE TO RIGHT-OF-WAY
 - PUE DENOTES PUBLIC UTILITY EASEMENT OR DISTANCE TO PUBLIC UTILITY EASEMENT
 - PDE DENOTES PRIVATE UTILITY EASEMENT OR DISTANCE TO PRIVATE UTILITY EASEMENT
 - SFN DENOTES SEARCHED FOUND NOTHING
 - BSL DENOTES BUILDING SETBACK LINE

Scale: 1"=50'



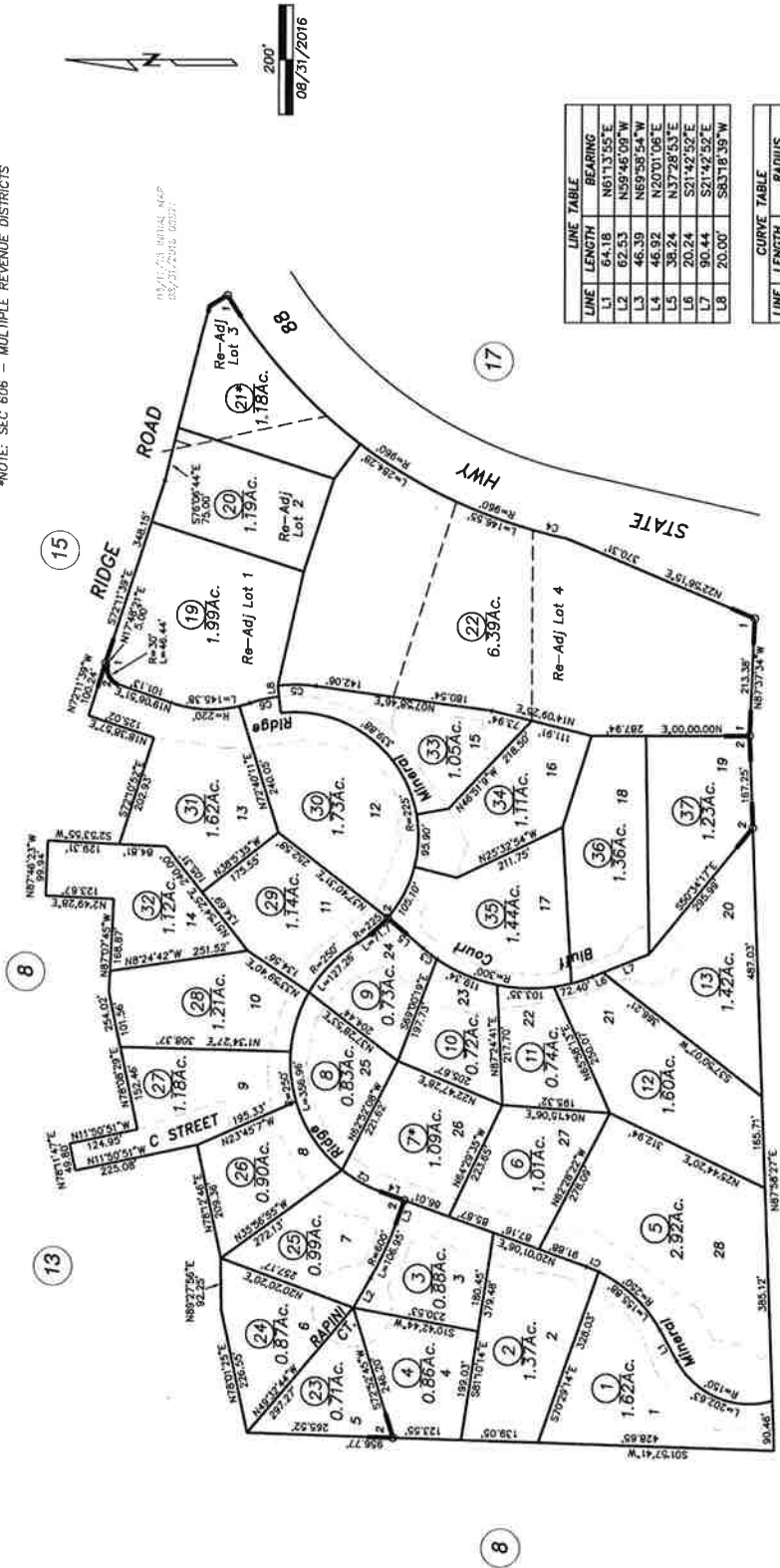
Station	Bearing	Distance	Angle	Distance	Angle	Distance	
1	R=225.00°	D=1440.07'	L=70.40'	17	R=31.00°	D=75.48237'	L=43.87'
2	S=83°18'39" W	D=20.00'		18	S=80°02'00" E	D=14.04'	
3	R=255.00°	D=1203.31'	L=53.87'	19	N=52°33'45" E	D=16.23'	
4	R=200.00°	D=3751.142'	L=145.38'	20	S=74°32'28" E	D=11.51'	
5	R=30.00°	D=8841.30'	L=46.44'	21	S=35°53'46" W	D=27.75'	
6	N=17°48'21" E	D=5.00'		22	S=37°09'54" E	D=20.00'	
7	N=74°52'28" W	D=48.25'		23	R=860.00°	D=0.070739'	L=52.50'
8	N=31°08'03" W	D=37.96'		24	R=860.00°	D=0.234359'	L=48.55'
9	R=30.00°	D=38.30317'	L=20.17'	25	R=53.50°	D=66592.01'	L=63.40'
10	R=30.00°	D=5010.53'	L=28.37'	26	N=52°56'52" W	D=36.64'	
11	R=24.00°	D=89759.57'	L=37.70'	27	N=52°56'52" W	D=25.76'	
12	S=17°54'32" E	D=18.60'		28	S=81°09'43" E	D=14.37'	
13	N=18°05'45" E	D=6.74'		29	S=81°09'43" E	D=14.37'	
14	R=30.00°	D=8948.50'	L=61.13'	30	R=860.00°	D=0.234359'	L=44.08'
15	R=33.00°	D=90710.43'	L=51.94'	31	N=52°56'52" W	D=79.38'	
16	N=18°05'18" E	D=13.00'					

SHEET 3 OF 3 SHEETS

POR. SEC. 32 & 33 T.7N., R.12E., M.D.B. & M. TAX AREA CODE 30-74

52-087
52-011

*NOTE: SEC 606 - MULTIPLE REVENUE DISTRICTS



LINE	LENGTH	BEARING
L1	64.18	N61°13'55"E
L2	62.53	N59°46'00"W
L3	46.39	N69°58'54"W
L4	46.92	N20°01'06"E
L5	38.24	N37°28'53"E
L6	20.24	S21°42'52"E
L7	90.44	S21°42'52"E
L8	20.00	S83°18'39"W

CURVE	LENGTH	RADIUS
C1	23.95	250.00
C2	79.89	250.00
C3	31.83	300.00
C4	65.52	960.00
C5	70.40	275.00
C6	53.67	255.00

38
1

Map changes became effective with the 2017-2018 roll year. Parcel numbers are subject to change prior to adoption of roll on each July 1.

IMPORTANT NOTE: This map was prepared for property tax assessment purposes only. It is assumed that the property, as described in it's deed, is property being assessed. No liability is assumed for the accuracy of the data delineated hereon.

- R.M.Bk. 9, Sub.Pg.53 (5/19/2008) Pine Grove Bluffs
- 1- R.M.Bk.64, Pg.13 (08/07/14)
- 2- R.M.Bk. 9, Sub.Pg.71 (02/04/16) PINE GROVE BLUFFS PHASE 2

37

Assessor's Map Bk. 30, Pg. 74
County of Amador, Calif.

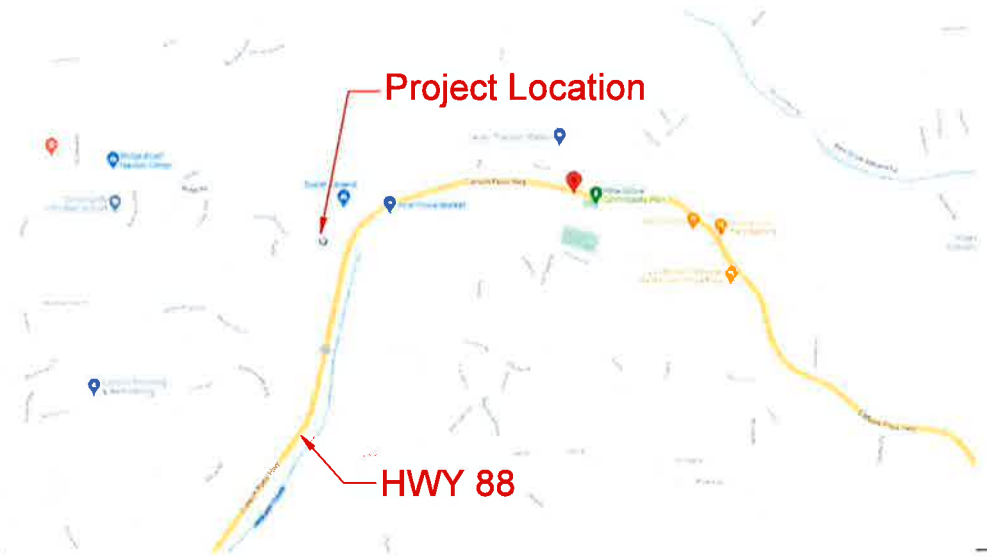
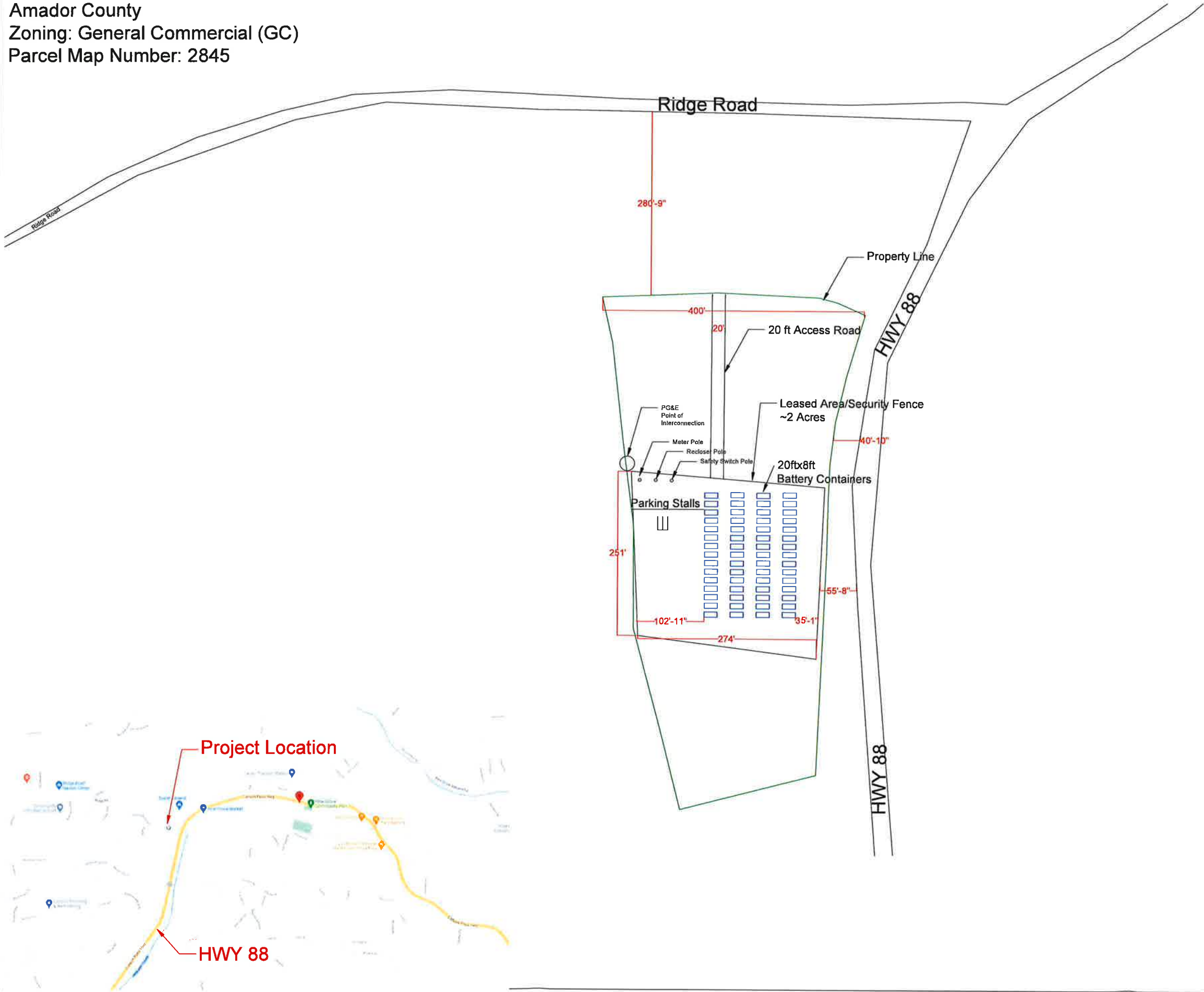
NOTE-Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

Project: Cedar 1 Battery Storage
 Applicant: Apex Energy Solutions LLC
 APN: 030-740-022
 Amador County
 Zoning: General Commercial (GC)
 Parcel Map Number: 2845

**CEDAR 1
 BATTERY PROJECT**

CONFIDENTIAL DOCUMENTS
 THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

REV.	BY	DESCRIPTION	DATE	APPROD BY
0	OI	SUBMITTAL #1	10/20/21	



1 inch
 Scale to Confirm 24"x36" Plot



604 SUTTER ST, STE 250
 FOLSOM, CA 95630
 Phone : 916.985.9461
 Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

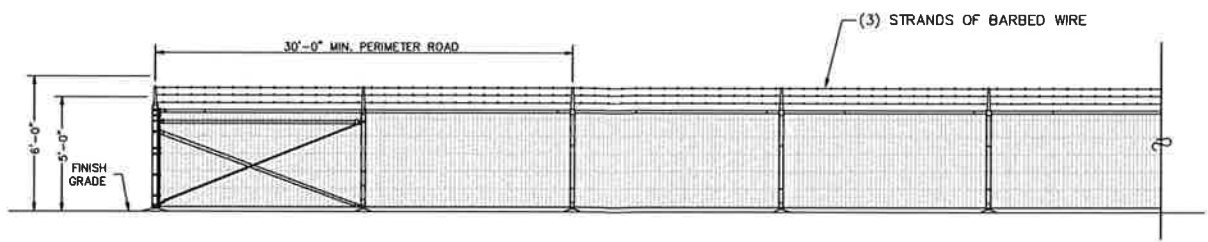
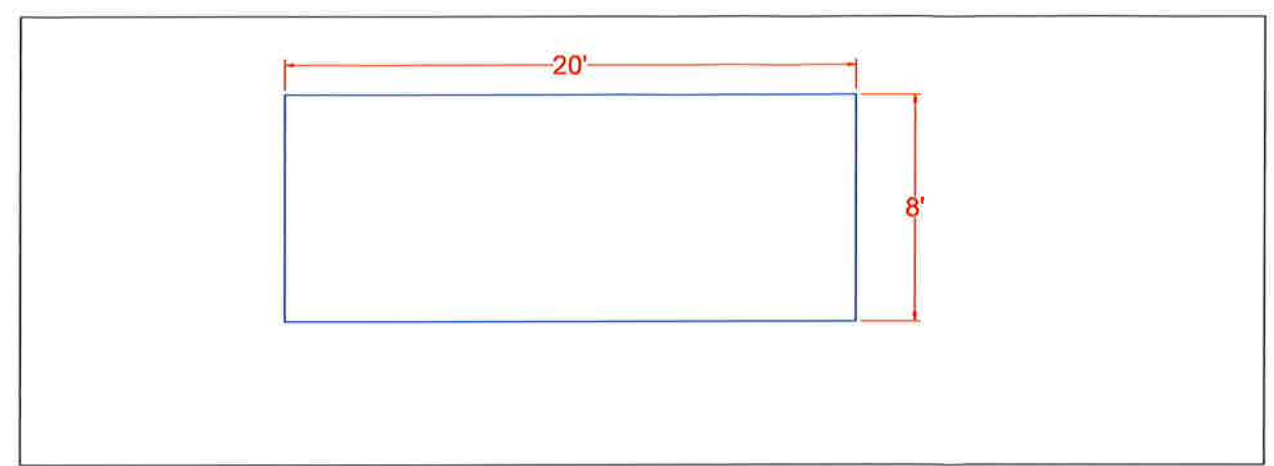
SHEET TITLE:
SITE MAP

DRAWN BY:	OI	DRAWING No.	PS-000
CHECKED:		SCALE:	AS NOTED
JOB NO:		DATE:	
REV No.	1		

CEDAR 1 BATTERY PROJECT

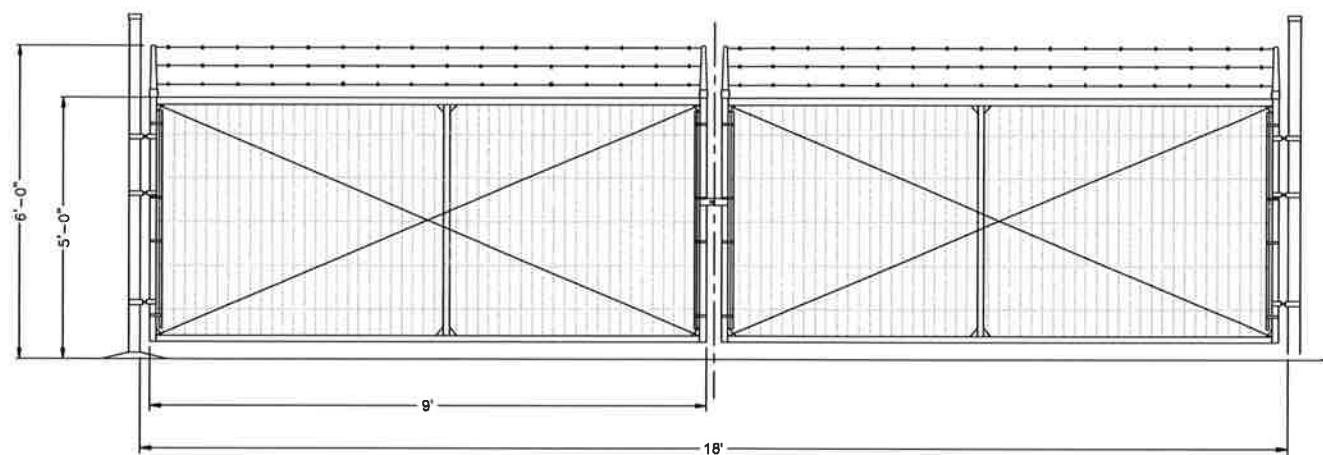
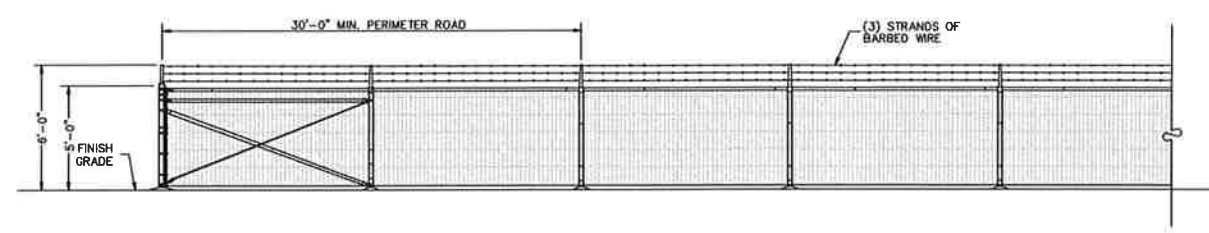
CONFIDENTIAL DOCUMENTS
THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

REV.	BY	DESCRIPTION	DATE	APPROV BY
0	CI	SUBMITTAL #1	10/20/21	



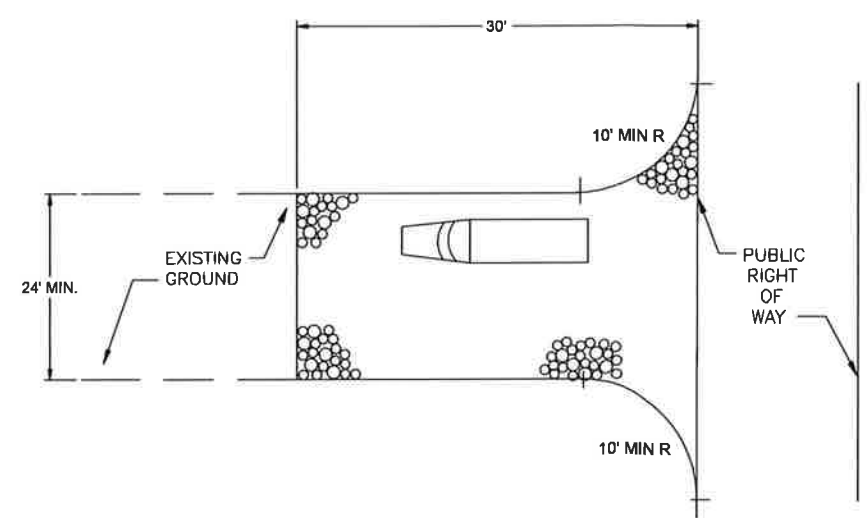
1 BATTERY CONTAINER
N.T.S.

2 EAST OR WEST PERIMETER ELEVATION, TYP.
N.T.S.



3 NORTH OR SOUTH PERIMETER ELEVATION, TYP.
N.T.S.

4 BI-DIRECTIONAL GATE ELEVATION
N.T.S.



5 SITE ENTRANCE (PLAN VIEW)
N.T.S.

1 inch
Scale to Conform 24"x36" Plot



604 SUTTER ST, STE 250
FOLSOM, CA 95630
Phone : 916.985.9461
Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

SHEET TITLE: MECHANICAL DETAILS

DRAWN BY:	CI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED		
JOB NO.			
DATE:		REV No.	1

CEDAR 1 BATTERY PROJECT

CONFIDENTIAL DOCUMENTS
THE INFORMATION EMBODIED ON THIS DRAWING IS STRICTLY CONFIDENTIAL AND IS SUPPLIED WITH THE UNDERSTANDING THAT IT WILL BE HELD CONFIDENTIAL AND NOT DISCLOSED TO THIRD PARTIES WITHOUT THE PRIOR WRITTEN CONSENT OF ZGLOBAL, INC.

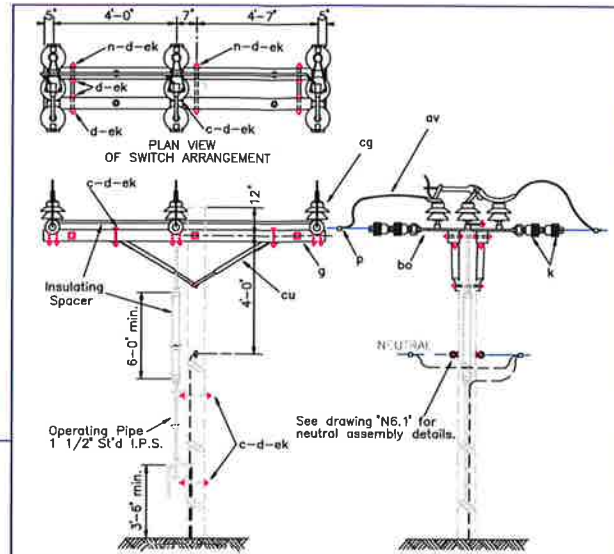
REV.	BY	DESCRIPTION	DATE	APPROV BY
0	CI	SUBMITTAL #1	10/20/21	

TO PG&E 12 KV DISTRIBUTION LINE

POLE #1- METERING

POLE #2- DISCONNECT

POLE #3- PROTECTION



Operating Pipe 1 1/2" Std I.P.S.

See drawing 'N6.1' for neutral assembly details.

ITEM	QTY	MATERIAL	ITEM	QTY	MATERIAL
c	4	Bolt, machine, 1/2" x req'd length	aa	2	Nut, eye, 5/8"
c	15	Bolt, machine, 5/8" x req'd length	av	-	Jumpers, as required
d	4	Washer, round, 1 3/8"	bo	6	Shackle, anchor
d	4	Washer, square, 2 1/4"	cg	1	Switch, airbreak, group operated
d	2	Washer, square, 3"	cu	2	Brace, wood, 60" span
g	2	Crossarm, 3 5/8" x 4 5/8" x 10'-0"	ek	33	Locknuts
k	12	Insulator, suspension, 4 1/4"			
n	4	Bolt, double arm, 5/8" x req'd length			
p	-	Connectors, as required			

GROUP-OPERATED AIRBREAK SWITCH (THREE-PHASE)

POLE #2- DISCONNECT

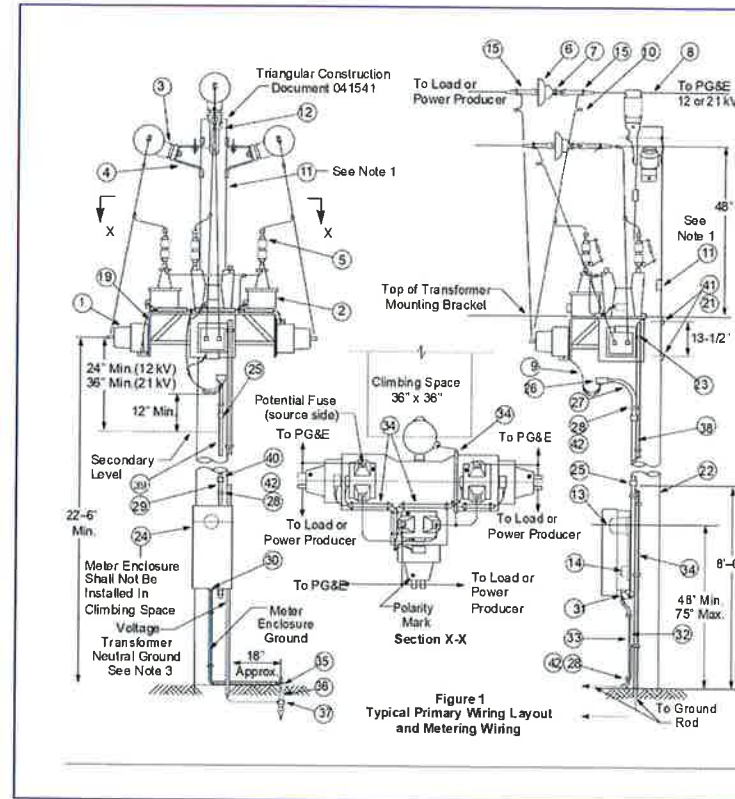


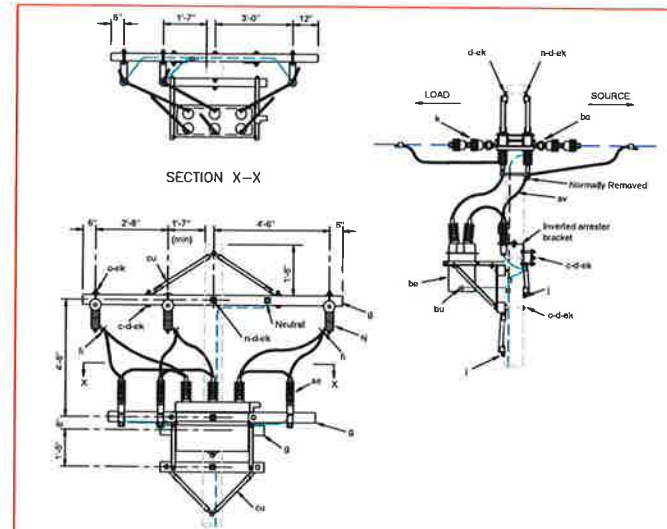
Table 1 List of Materials to Be Furnished and Installed by PG&E

Item	Description	Code	Quantity	Document Number
1	Transformer, Current, Outdoor-Type (12 KV)			054340
2	Transformer, Potential, Outdoor-Type (12 KV)			044450
3	Insulator, Post-Type (12 KV)			015190
4	Bracket, Pole-Top, for Post Insulator			015225
5	Fuse, Bushing Mounted (12 KV)			015014
6	Insulator, Suspension, 7"	34306		015014
7	Link, Strain, One Brass Catalog Number 70688	18008		
8	Wire, Overhead (#4 AWG)			056028
9	Wire, Coded, Meter, #10, 600 V			Spec. 26
10	Lead Wire, Connectors (as required)			06067
11	High Voltage Signs	17338		015070
12	Bending Material (as required)			
13	Material - weather, without demand, etc. (By PG&E)			
14	Test Switch, Reset Therm (as required)			026237
15	Dead-End Attachment, for Aluminum, Document 028851, for Copper, Document 015218			
16	Guy Material (as required)			022178
17	Insulator Clearance Bracket, 1" Pin Thread, Code 101215, 1-3/8" Pin Thread, Code 101216			015190
18	Insulator, Pin Type (12 KV)			022088
19	Bracket, for Instrument Transformers (Aluma Form Catalog Number GPM-6 or Barfield Manufacturing Catalog Number BAFM-6)	181068		
20	Air Switch, Install per Document 033131			022635
21	Bolt, Machine, 5/8" x Length (as required), With Square Washer			068778

Table 1 List of Materials to Be Furnished by Customer

Item	Description	Code	Quantity	Document Number
22	Pole, Wood, Fully Treated and PG&E Inspected			Spec. 57
23	Galv. Steel, Galvanized, 2-1/2" x 29-3/4" x 0.187"	197154		
24	Meter Enclosure, Weatherproof (see Document 033984)			
25	Coupling, PVC, 1-1/4", Slip Fit, Sloane Catalog Number CG425 or Equivalent	360416		
26	Elbow, Type LR, PVC, 1-1/4", Female, Slip Fit, Sloane Catalog Number LR40S or Equiv	360559		
27	Bend, PVC, 1-1/4", 90°, R=5-3/4", Slip Fit, Schedule 80, Gray	360559		
28	Strip, Pipe, Galvanized, Two-Hole (as required)			027577
29	Conduit, Rigid Steel, 1-1/4", Galvanized	390121		
30	Conduit Filing, Threaded (for armor wire or steel conduit, Item 33)			
31	Conduit Filing, Threaded (for Item 29)			
32	Wire, Ground, #6 Minimum Copper, Bare			
33	Conduit, Rigid Steel, 1/2", Galvanized (for meter enclosure ground wire)	390118		
34	Conduit, Rigid PVC, 1/2", Schedule 40 With Coupling, 10' Lengths	360388		021604
35	Conduit Grounding Hub and Clamp, (for conduit, Thomas & Betts catalog number 3932 or equivalent for armor, Thomas & Betts catalog number 3983, or equivalent)			
36	Rod, Ground, 3/8" x 8'-0", Copper Covered Steel Rod	187011		013109
37	Clamp, Ground Rod	187012		
38	Wire, Ground, PT Neutral, #6 Minimum Bare Copper	290013		
39	Conduit, Rigid PVC, 1-1/4", Schedule 80, Gray	360420		
40	Adapter, Female, PVC, 1-1/4" Thread to Slip Fit Sloane Catalog Number FA1303 (or equivalent)	360531		
41	Cover, Insulating	14904		058776
42	Nail, 6d, Galvanized, 16d Common, Code 197036 for Cedar Poles; 6d Common, Code 187034 for Douglas Fir or Pine Poles			
43	Riser Assembly (as required)			027742

(a) Substitute pipe strap and nails, Items 28 and 42
(b) Armor clad ground wire may be used for meter enclosure ground. Omit rigid steel (Item 33) when armor cladding is used.



ITEM NO	MATERIAL	ITEM NO	MATERIAL
c	3 Bolt, machine, 5/8" x req'd length	aa	2 Nut, eye, 5/8"
c	4 Bolt, machine, 1/2" x req'd length	ae	3 Surge arrester
d	12 Washer, sq, 2-1/4" x 3/16", 13/16" hole	av	- Jumpers, stranded, as req'd
d	4 Washer, rd, 1-3/8" dia., 9/16" hole	be	1 Recloser, oil circuit - 3 phase
g	2 Crossarm, 3-5/8" x 4-5/8" x 10'-0"	*	1 Mounting bracket for 3 phase recloser
g	1 Crossarm, 3-5/8" x 4-5/8" x 8'-0"	bo	6 Shackle, anchor
g	2 Crossarm, 3-5/8" x 4-5/8" x 4'-0"	bu	1 Connector, solderless
j	2 Screw, lag, 5/8" x req'd length	cu	2 Brace, crossarm, wood, 60" span
k	12 Insulator, suspension	ek	- Locknuts, as req'd
l	6 Clamp, deadend	fi	6 Connector, hot line
n	3 Bolt, double arming, 5/8" x req'd length	hj	3 Switch, recloser by-pass
p	- Connectors, as req'd		

POLE #3- PROTECTION
THREE-PHASE CIRCUIT RECLOSER WITH BY-PASS SWITCHES

POLE #1- METERING

1 inch
Scale to Confirm 24"x36" Plot

Apex Energy
SOLUTIONS

604 SUTTER ST, STE 250
FOLSOM, CA 95630
Phone : 916.985.9461
Fax: 916.985.9467

"THESE DRAWINGS AND SPECIFICATIONS HAVE BEEN PREPARED BY ZGLOBAL, INC. FOR THEIR EXCLUSIVE USE IN ACCORD WITH SEC. 6737.3 OF THE 2012 PROFESSIONAL ENGINEERS ACT OF THE STATE OF CALIFORNIA"

SHEET TITLE:
ELECTRICAL DETAILS

DRAWN BY:	CI	DRAWING No.	
CHECKED:			
SCALE:	AS NOTED		
JOB NO:			
DATE:		REV No.	1

AMADOR COUNTY PUBLIC WORKS REVIEW FEES

Per Ordinance No. 1646, County Code Chapter 3.58, Section 3.58.010

FILL IN COMPLETELY AND SUBMIT WITH PLANS
Incomplete submittals will not be accepted for review.

PROJECT NAME (Exactly as on plans): TENTATIVE PARCEL MAP No. 2903

DATE: 9.14.2021 ENGINEER OF RECORD CIRO L. TOMA

SUBMITTAL: (CHECK ONE) FIRST RESUBMITTAL #1 2 3

PROJECT OWNER Name DELBERT E. RAPINI / DEL RAPINI CONSTRUCTION

ADDRESS 5701 OLIVE RANCH RD. STATE CA ZIP 95746 PHONE (209) 408-2607
GRANITE BAY
(Project owners receive a copy of all plan review comments from Public Works)

SUBMITTED BY: GINA WAKLEE COMPANY: TOMA & ASSOCIATES
(Your name/Engineering/Architectural Company)

PHONE: office (209) 223-0156 cell _____ fax _____

EACH APPLICANT TO THE COUNTY SHALL PAY A FEE FOR REVIEW SERVICES PERFORMED BY THE COUNTY PUBLIC WORKS AGENCY FOR THE FOLLOWING:

	<u>DEPOSIT REQUIRED</u>
<input type="checkbox"/> A. Request for Chapter 15.30 Deviations	\$750.00
<input type="checkbox"/> B. CEQA Evaluations (Traffic, EIR, etc.)	\$ 1,500.00
<input type="checkbox"/> C. Subdivision Maps	\$2,000.00
<input checked="" type="checkbox"/> D. Parcel Maps	\$1,500.00
<input type="checkbox"/> E. Conditional Use Permits	\$500.00
<input type="checkbox"/> F. Pre-application conferences	\$77.00 per hour/1 hr. min.

Amount Received \$ _____
Receipt Issued # _____

If the accrued charges exceed the above deposit, the County submits periodic billings to the applicants for costs incurred. Interest of one and one-half (1-1/2) percent per accounting period (28) day cycle compounded each accounting period shall be added to the unpaid balance due to any account which has not been paid within (28) days of the date it was billed. All fees to date must be paid current prior to consideration of the application at each stage of the review process (TAC meetings, Planning Commission, BOS, if applicable, department head, if applicable, and final approval of the documents by County Surveyor in case of subdivision maps and parcel maps). If the actual total charges are less than the minimum deposit amounts, the County shall reimburse the payer the difference between the minimum deposit and the actual total charges.

ACCEPTED FOR REVIEW BY PUBLIC WORKS AGENCY

NAME: _____

PROJECT NO. ASSIGNED _____

DATE: _____

COPY
DELIVERED TO
PUBLIC WORKS

White Payor - Pink Auditor /Controller - Yellow Issuing Department

OFFICIAL RECEIPT
COUNTY OF AMADOR
Jackson, California

Date 10-27-2021 20.....

RECEIVED FROM Delbert Rapini
ADDRESS 5701 Olive Ranch Rd, Granite Bay 95746
Fifteen Hundred Dollars & no cents DOLLARS (\$ 1,500.00)
For 030-740-022

ACCOUNT		How Paid <input checked="" type="checkbox"/>	
Amount Due		Cash	
		#	

Public Works Department

R Sussel

Amador County Environmental Health
 810 Court Street
 Jackson, CA 95642 209-223-6439

INVOICE - FIRST NOTICE

TO: Delbert Rapini
 5701 Olive Ranch Road
 Granite Bay, 95746

Invoice ID

IN0029722

Date

10/27/2021

Receipt #

AB0128865

ATTN:

RE: Delbert Rapini

Date	Program/ Element	Description	Comments	Amount
10/27/21	2622	2622 PARCEL MAP		\$ 360.00
10/27/21	2665	2665 REZONING/ZONING CHANGE		\$ 240.00
10/27/21	2677	2677 NEGATIVE DECLARATION		\$ 240.00
10/27/21	9999	9999 Payment		\$ -360.00
10/27/21	9999	9999 Payment		\$ -240.00
10/27/21	9999	9999 Payment		\$ -240.00
Total Due for This Invoice:				\$ 0.00

1-30 Days	31-60 Days	61-90 Days	91-120 Days	121+ Plus	Account Amount Due
\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00

OFFICIAL RECEIPT

COUNTY OF AMADOR
Jackson, California

Date October 29 2021

RECEIVED FROM Apex Energy Solutions LLC

ADDRESS 604 Sutter Street STE 250 Folsom, CA 95630

One Thousand Eight Hundred Twenty-Nine and ⁰⁰/₁₀₀ DOLLARS (\$ 18,29.00)

For Use Permit application for a Battery Energy Storage Facility APN: 030-740-02
(\$1,069.00 UP application, \$710 CEQA, \$50 Recording admin fee)

ACCOUNT			How Paid ✓	
Amount Due	1829	00	Cash	
Amount Paid	1829	00	Check	9392
			Money Order	
			Credit Card	

Planning Department
By Ruslan Bratan Deputy

No 93839



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY
TRANSPORTATION & PUBLIC WORKS

PHONE: (209) 223-6429

FAX: (209) 223-6395

WEBSITE: www.amadorgov.org

EMAIL: PublicWorks@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

MEMORANDUM

TO: Chuck Beatty, Planning Director

FROM: Richard Vela, Director of Transportation and Public Works

DATE: November 9, 2021

SUBJECT: Tentative Parcel Map No. 2903 – Proposed Conditions

DEDICATIONS:

1. None. Property does not front on a county maintained road.

ENCROACHMENT:

2. None. No encroachment conditions required since proposed lots do not have direct access to a county road.

MISCELLANEOUS:

3. Property does not front on a county maintained road.
 - a. Access to Lots 4A, 4B and 4C is via 50' private access easement.
4. All necessary utility easements are currently in place.



Planning Department <planning@amadorgov.org>

TAC Referral PM 2903, UP-21;10-3, ZC-21;10-1, GPA-21;10-2: Del Rapini/Apex Energy Solutions- Review for Completeness December 2, 2021

AFPD Headquarters <afpdhdq@amadorgov.org>
To: Amador County Planning Department <planning@amadorgov.org>

Wed, Nov 17, 2021 at 12:56 PM

CFD Annexation condition needs to be met.

Thank you,

Nicole Cook
Amador Fire Protection District
[810 Court Street](#)
[Jackson, CA 95642](#)
209-223-6391-phone
209-223-6646-fax

This communication may contain legally privileged and confidential information sent solely for the use of the intended recipient, and the privilege is not waived by the receipt of this communication by an unintended and unauthorized recipient. If you are not the intended recipient of this communication you are not authorized to use it in any manner, and must either immediately destroy it or return it to the sender. Please notify the sender immediately by telephone at (209) 223-6391 if you received this communication in error."

[Quoted text hidden]



Planning Department <planning@amadorgov.org>

TAC Referral PM 2903, UP-21;10-3, ZC-21;10-1, GPA-21;10-2: Del Rapini/Apex Energy Solutions- Review for Completeness December 2, 2021

Lucas Carthew <lcarthew@amadorwater.org>

Tue, Nov 30, 2021 at 11:25 AM

To: "planning@amadorgov.org" <planning@amadorgov.org>

Cc: Rick Ferriera <RFerriera@amadorwater.org>, Brandt Cook <bcook@amadorwater.org>

Hello Amador County Planning Department,

Please see the attached letter containing AWA comments concerning the Early Consultation Application Referral for Tentative Parcel Map 2903 APN 030-740-022 in Pine Grove. Please let me know if there are any questions or concerns, and have a great day!

Kind Regards,

Lucas Carthew

Assistant Engineer

Amador Water Agency

*** This is not a quote or an estimate. Rates and fees subject to change by future Board action. ***

[Quoted text hidden]

CONFIDENTIALITY NOTICE: This e-mail and any attachments are for the sole use of the addressee(s) and may be privileged, confidential and protected from disclosure. If you have received this message in error or are not the intended recipient, then we (1) advise you that any disclosure, copying, distribution, saving or use of this information is strictly prohibited, and (2) request that you delete this e-mail and any attachments and notify us by reply e-mail or telephone 209-223-3018.

Thank You,

Amador Water Agency 12800 Ridge Road, Sutter Creek, California 95685 www.amadorwater.org

2 attachments

Del Rapini Project- Packet for 12.2.2021.pdf
2692K

TAC PM 2903 APN 030-740-022 Del Rapini AWA Comments 113021.pdf
99K



November 30, 2021

Amador County Planning Department
c/o Technical Advisory Committee
810 Court Street
Jackson, CA 95642-2132

RE: Early Consultation Application Referral AWA Response – TPM 2903 Del
Rapini in Pine Grove
APN: 030-740-022

Dear TAC Committee,

The Amador Water Agency (“AWA” or “Agency”) is in receipt of the attached Early Consultation Application Referral dated November 17, 2021 concerning a project (“Development”) submitted by Del Rapini Construction and Apex Energy Solutions. The Agency understands there is 1) an application for Tentative Parcel Map 2903 Del Rapini, proposing a division of a 6.39 acre parcel into three parcels 1.99, 1.59, and 2.52 acres in size, and Boundary Line Adjustment, and 2) one General Plan amendment from RL (residential low density) to TC (town center), and 3) one Zone Change Application from R1 (single-family residential) to C2 (heavy commercial), and 4) a use permit for a battery energy storage facility. This letter is not a letter of wholesale water service commitment or wastewater service commitment beyond those already stipulated in previous agreements or capacity purchases.

The Agency has determined that while the capacity in the current Pine Grove Community Leachfield is fully allocated, the full capacity is not currently being utilized. Per the Will Serve Agreement between AWA and Del Rapini Construction, Inc. in 2015, the wastewater capacity assigned to APN 030-740-022 is assigned to the future Pine Grove Community Leachfield Expansion. Any additional wastewater capacity purchases will also be allocated to the future Pine Grove Community Leachfield Expansion as well. The Agency has reviewed the Early Consultation Application Referral package, and has the following comments:

- 1) The Development will be required to obtain a “Wholesale Water Will Serve Commitment” from the Amador Water Agency, prior to initiation of service to the Development.
- 2) Prior to service from AWA, Development is subject to and must provide approval from the Authority Having Jurisdiction, City of Pine Grove.
- 3) The Development is required to execute a recorded System Extension Agreement with the Agency prior to recording the final map or obtaining development approval concerning the payment of additional wastewater Capacity Fees, if needed, beyond the currently allocated four (4) EDUs for APN 030-740-022 previously purchased and other conditions relating to providing wastewater service to the Development, including any Developer funded infrastructure the Agency requires.
- 4) This letter is subject to the AWA Wastewater Code, Rates, Rules and Regulations, as may be amended from time to time.

A Public Agency



12800 Ridge Road, Sutter Creek, CA 95685-9630 • www.amadorwater.org • Office: (209) 223-3018

- 5) Payment of applicable fees for engineering review, administration and construction inspection per the Agency's rules and regulations in force at the time of application and/or service.

Thank you for this opportunity to review and comment on the above project. Please feel free to contact the Agency with any questions, comments, or concerns regarding the contents of this letter.

Kind Regards,

A handwritten signature in blue ink that reads "Lucas Carthew".

Lucas Carthew
Assistant Engineer

This is not a quote or estimate.

CC: File



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY
PLANNING DEPARTMENT

PHONE: (209) 223-6380
FAX: (209) 257-5002
WEBSITE: www.amadorgov.org
E-MAIL: planning@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

December 9, 2021

Apex Energy Solutions
Attn: Anika Larson al Larson@zglobal.biz
cc: omar@zglobal.biz and skaaki@zglobal.biz

RE: Use Permit UP-21;10-3 Apex Energy Solutions (with PM 2903, ZC-21;10-2 Del Rapini, and GPA-21;10-2.

Dear Project Applicant(s),

Prior to resubmission, the Community Development Agency has prepared a list of requirements for the project application. These requests are made as a result of the meeting which took place on December 2, 2021, and include address of the following:

1. Detail of a typical container including methods of a containment sump.
2. Typical fire protection system within each container.
3. Why isn't a third party monitoring company being used since you have several standalone fire extinguishing systems on site.
4. Company's method of monitoring of the fire existing systems.
5. Company's safety policy regarding emergency procedures.
6. Specific vegetation management program for this site? Please provide detail of work to be performed.
7. How will the site be secured, managed and supervised?
8. Provide a typical quantity of hazmat product per container.
9. Provide a detailed spill control method for the site as well as per container.
10. Are you familiar with the hazmat permitting process based on quantities listed in the California Fire Code?
11. Sample images of similar projects, or renderings of the proposed project.

It is highly likely that supplementary reports may be required after the project application is determined to be complete as mitigation measures or expansion of the environmental document for the project.

Upon receipt of the above enumerated item(s) we will schedule another TAC meeting to continue the processing of your application.

If you have any questions concerning this matter, feel free to contact this office.

Sincerely,

Krista Ruesel
Amador County Planning Department
(209)223-6380 | planning@amadorgov.org



Krista Ruesel <kruesel@amadorgov.org>

AMA-88 PM 29.03 Del Rapini Construction TPM-GPA-ZC-UP

1 message

Bauldry, Paul@DOT <paul.bauldry@dot.ca.gov>
To: Krista Ruesel <kruesel@amadorgov.org>
Cc: "Ponce, Gregoria@DOT" <gregoria.ponce@dot.ca.gov>

Wed, Dec 1, 2021 at 4:56 PM

Ms. Ruesel,

Please see the attached Caltrans letter for the Del Rapini Construction TPM-GPA-ZC-UP project.

Should you have any additional questions, please feel free to contact me at (209) 670-9488 or at paul.bauldry@dot.ca.gov.

Thank you.

Paul Bauldry

Caltrans District 10

Office of Rural Planning

Division of Planning, Local Assistance, and Environmental

1976 E. Dr. Martin Luther King Jr Blvd.

[Stockton CA 95205](#)

Telework # 209.670.9488

 **AMA-88 PM 29.03 Del Rapini Construction TPM-GPA-ZC-UP.pdf**
250K

California Department of Transportation

OFFICE OF THE DISTRICT 10 PLANNING
P.O. BOX 2048 | STOCKTON, CA 95201
(209) 948-7325 | FAX (209) 948-7164 TTY 711
www.dot.ca.gov



December 01, 2021

Ms. Krista Ruesel
Planner
Amador County Planning Department
810 Court Street
Jackson, CA 95642

AMA-88-PM 22.48
Tentative Parcel Map (TMP
2903)
General Plan Amendment
(GPA 21; 10-2)
Zone Change (ZC-21;10-1)
Use Permit (UP-19;11-2)

Ms. Ruesel,

The California Department of Transportation (Caltrans) appreciates the opportunity to comment on the Early Application Project Referral on the joint project application submitted by Del Rapini Construction and Apex Energy Solutions consisting of the following: A Tentative Parcel Map application proposing a division of a 6.39-acre parcel into three parcels - 1.99, 1.59, and 2.52 acres in size; A General Plan Amendment (GPA 21; 10-2) of a 3-acre portion of the above-mentioned property from the Residential Low (RL), to Town Center (TC) General Plan Designation; Zone Change Application for the same \pm 3-acre portion of the previously referenced property from Single-family Residential Zoning District (R1) to Heavy Commercial Zoning District (C2); and Use Permit for a Battery Energy Storage Facility (UP 19;11-2).

The project is located approximately 300 feet southwest of the intersection of Ridge Road and State Route (SR) 88.

Caltrans has the following comments:

Caltrans suggest the Amador County Planning Department continue to coordinate and consult with Caltrans to identify and address potential cumulative transportation impacts that may occur from this project and other developments near this location. This will assist Caltrans in ensuring that traffic safety and quality standards are maintained for the traveling public on existing and future state transportation facilities.

Encroachment Permits

If any project construction activities encroach into Caltrans right-of-way (ROW), the project proponent must submit an application for an Encroachment Permit to the Caltrans District 10 Encroachment Permit Office. Appropriate environmental studies

Ms. Krista Ruesel
December 01, 2021
Page 2

must be submitted with this application. For more information please visit the Caltrans Website at:

<https://dot.ca.gov/programs/traffic-operations/ep/applications>

Please contact Paul Bauldry at (209) 670-9488 (email: paul.bauldry@dot.ca.gov) or me at (209) 483-7234 (email: Gregoria.Ponce@dot.ca.gov) if you have any questions or concerns.

Sincerely,

Gregoria Ponce'

Gregoria Ponce', Chief
Office of Rural Planning



Apex Energy Solutions AFD Comments

Patrick Chew <pchew@amadorgov.org>
To: Planning Department <planning@amadorgov.org>

Sat, Dec 4, 2021 at 8:56 AM

Here's my comments regarding our TAC meeting on December 2nd, 2021 on the Apex Energy Solutions application.

1. Provide detail of a typical container including methods of a containment sump.
2. Identify a typical fire protection system within each container.
3. Why isn't a third party monitoring company being used since you have several standalone fire extinguishing systems on site.
4. Provide the Company's method of monitoring of the fire existing systems.
5. Provide the Company's safety policy regarding emergency procedures.
6. What is your specific vegetation management program for this site? Provide detail of work to be performed.
7. How will the site be secured, managed and supervised?
8. Provide a typical quantity of hazmat product per container.
9. Provide a detailed spill control method for the site as well as per container.
10. Are you familiar with the hazmat permitting process based on quantities listed in the California Fire Code?

--

Patrick Chew
Division Chief / Fire Marshal
Amador Fire Protection District
810 Court Street
Jackson, CA 95642
Office 209-223-6391
Fax 209-223-6646
pchew@amadorgov.org
www.amadorfire.org

"This communication may contain legally privileged and confidential information sent solely for the use of the intended recipient, and the privilege is not waived by the receipt of this communication by an unintended and unauthorized recipient. If you are not the intended recipient of this communication you are not authorized to use it in any manner, and must either immediately destroy it or return it to the sender. Please notify the sender immediately by telephone at (209) 223-6391 if you received this communication in error."



AMADOR COUNTY COMMUNITY DEVELOPMENT AGENCY
PLANNING DEPARTMENT

PHONE: (209) 223-6380
FAX: (209) 257-5002
WEBSITE: www.amadorgov.org
E-MAIL: planning@amadorgov.org

COUNTY ADMINISTRATION CENTER • 810 COURT STREET • JACKSON, CA 95642-2132

December 9, 2021

Apex Energy Solutions
Attn: Anika Larson al Larson@zglobal.biz
cc: omar@zglobal.biz and skaaki@zglobal.biz

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Sincerely,

Krista Ruesel
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